

ORDINANCE

CITY OF NEW ORLEANS

CITY HALL: July 23, 2026

CALENDAR NO. 35,511

NO. _____ MAYOR COUNCIL SERIES

BY: COUNCILMEMBER KING (BY REQUEST)

AN ORDINANCE to authorize the Mayor of the City of New Orleans to enter into an agreement to grant a servitude to an adjacent property owner for encroachments on/over portions of public right-of-way located at the municipal address 221 Royal Street; to fix the minimum price and terms of said servitude agreement; to declare that such use as granted in the servitude agreement will incorporate space that is neither needed for public purposes nor shall such use interfere with the use of the public right-of-way; to set forth the reasons for said servitude agreement; and otherwise to provide with respect thereto.

SECTION 1. THE COUNCIL OF THE CITY OF NEW ORLEANS HEREBY ORDAINS, that the following portions of the public rights-of-way are not needed for public purposes at this time and that the Mayor is hereby authorized to grant the following servitude thereon to the adjacent property owners as described below for a yearly payment of \$1518.00 said annual payment subject to upward adjustment of 15%, rounded to the nearest dollar, following the expiration of every fifth year after May 1, 2026:

Approximately 116.67 square feet of air rights consisting of the Encroachments of balconies, on/over the Royal Street public right-of-way, the Encroachments being part of the improvements located in the 2nd Municipal District, Square 65, Lot B, bounded by Royal Street, Iberville Street, Bourbon Street, and Bienville Street, bearing the municipal address 221 Royal Street, New Orleans, Louisiana.

SECTION 2. That the grant of servitude be undertaken for the following reasons:

- (a) The owner, which owns the improvements adjacent to the City-owned property, has constructed or is planning to construct improvements upon the public rights-of-way after applying for and obtaining building permits, to the extent necessary, from the City of New Orleans;

(a) Said improvements and constructions referred to in subsection (a) hereinabove are dependent upon the servitude agreement with the owner; the plans and specifications submitted by the owner, to obtain the building permits for the improvements described herein, accurately delineate the improvements and constructions which are subject to the servitude agreement, and said plans and specifications were inspected and approved by the City of New Orleans prior to the issuance by the City of building permits allowing the improvements to be constructed as shown therein; the disposition of property rights by the servitude agreement as authorized herein will not hinder or preempt the use by the public or the City of any other public property and will provide revenues to the City otherwise not attainable if the aforementioned property rights were unused.

SECTION 3. That the Mayor is hereby authorized to execute the servitude agreement attached hereto as described hereinabove in SECTION 1 and attached hereto as Exhibit "A".

ADOPTED BY THE COUNCIL OF THE CITY OF NEW ORLEANS _____

PRESIDENT OF THE COUNCIL

DELIVERED TO THE MAYOR ON _____

APPROVED:
DISAPPROVED: _____

MAYOR

RETURNED BY THE MAYOR ON _____ **AT** _____

CLERK OF COUNCIL

ROLL CALL VOTE:
YEAS:

NAYS:

ABSENT:

RECUSED:



LEGISLATIVE SUMMARY

TO ACCOMPANY ORDINANCES

BEFORE SUBMISSION TO CLERK OF COUNCIL

Requesting Department or Agency: _____

Name of Contact Person: _____

Telephone Number: _____

Email Address: _____

Initials of Sponsoring Councilmember(s): _____

DETAILED SYNOPSIS OF THE ORDINANCE

Please generally describe the purpose, intent, and effect of the proposed ordinance.



LEGISLATIVE SUMMARY

If the Ordinance is to effectuate a contract, CEA, or other similar agreement (hereafter contract), please provide the following additional information.

☐

If this section is not applicable, please check this box.

The parties involved:

The obligations, expectations, and deliverables of the parties involved:

Any fiscal implications for the City with the contract:

The public purpose and need for the contract:

The duration of the contract:



LEGISLATIVE SUMMARY

If the Ordinance is to effectuate an amendment to the Codes of the City of New Orleans, please provide the following additional information.

☐

If this section is not applicable, please check this box.

The existing provision(s) of the Code being proposed for amendment:

The general content/requirements of the existing Code provision:

How the proposed ordinance will alter the existing Code provision(s):

Why these changes are needed:

REQUESTED ADOPTION DATE: _____

Reference: Council Rule 41 & City Code Section 2-813

(Rev)
(Exp)

Name Brandon Benjamin Ext. 3518
Person responsible for routing

**CHECK SHEET TO BE USED FOR
CLEARING ORDINANCES, MOTIONS, AND RESOLUTIONS
BEFORE SUBMISSION TO COUNCIL CLERK**

The originating agency shall attach a copy of each proposed ordinance, motion, or resolution to the check sheet for processing in the sequence indicated after preparing a synopsis. The detailed memorandum of explanation shall also be attached to this check sheet.

SYNOPSIS OF DOCUMENT: AN ORDINANCE authorizing the Mayor of the City of New Orleans to enter into a servitude agreement with 221 Royal, LLC, air rights for the purpose encroachments of balconies bearing the municipal address of 221 Royal Street for a yearly payment of \$1,518.00;

1. Handwritten Signature
Department Head

2. Handwritten Signature *stephen nelson*
Department of Law Deputy CAO

3. Handwritten Signature
Chief Administrative Officer

4. Handwritten Signature
Director of Council Relations

5. _____
Initials of Sponsoring Council Member

COUNCIL ACTION

Council Members Present: _____

Absent: _____

AMENDMENTS:

FINAL ADOPTION:

MOVED:

2ND:

YEAS:

NAYS:

ABSENT:

RECUSED:

7. Reviewed by the Chief Administrative Officer after adoption by the City Council and prior to the Mayor's signature.

REF. POLICY MEMORANDUM NO. 3

GRANT OF SERVITUDE
BY
THE CITY OF NEW ORLEANS
TO
221 ROYAL, LLC

UNITED STATES OF AMERICA
STATE OF LOUISIANA
PARISH OF ORLEANS

BE IT KNOWN, on the respective dates herein below but effective this ____ day of _____, 20__ (“**Effective Date**”), before the undersigned Notaries Public, duly commissioned and qualified in and for the Parishes/County and State hereinafter referenced, and in the presence of the undersigned competent witnesses,

PERSONALLY CAME AND APPEARED:

- (1) **THE CITY OF NEW ORLEANS**, herein represented by Helena N. Moreno, Mayor, acting under and by virtue of authorization contained in Ordinance No. _____ M.C.S., adopted on _____, 20____, a copy of which is attached hereto and made a part hereof (hereinafter referred to as the "**City**" and sometimes the "**Grantor**"); and
- (2) **221 ROYAL, LLC**, a limited liability company with a domicile address of 5305 Purdue Drive, Metairie, LA. 70003, represented herein by Dixon Betz, its Authorized Agent, duly authorized to appear herein on its behalf (hereinafter collectively referred to as "**Grantee**").

WHO DECLARED THAT:

The City hereby grants a predial servitude of right-of-use for the Encroachment of balconies on/over the Royal Street public Right-of-way to Grantee, as described herein.

ARTICLE I - DEFINITIONS

For the purpose of this servitude agreement (“**Agreement**” or “**Grant of Servitude**”), the following words shall have the meanings given to them in Section I of the Agreement:

- (a) **Right-of-way:** The City owned property adjacent to the dominant estate, of which the servitude exists upon a portion.
- (b) **Grantee:** The owner of the dominant estate.

- (c) **Grantor:** The City of New Orleans.
- (d) **Property:** The dominant estate, made up of the immovable property, adjacent to the right-of-way and which has improvements that encroach onto the right-of-way, described on Exhibit “A” attached hereto and made a part hereof.
- (e) **City:** Means the City of New Orleans, Louisiana, and all the territory within its present and future corporate boundaries.
- (f) **Encroachment:** The portion of the property that occupies the right-of-way, as shown in Exhibit “B.”.
- (g) **Person:** Means any corporation, partnership, proprietorship, individual or organization authorized to do business in the State of Louisiana, or any natural person.
- (h) **Section:** Can refer to any section, subsection, or provisions of this servitude agreement.
- (i) **Servitude:** The predial servitude pursuant to *La. C.C. Art. 646*, consisting of the right to use the airspace and correlated ground for an encroachment on the right-of-way as shown on Exhibit “B” and consisting of:

Approximately 116.67 square feet of air rights consisting of the Encroachment of balconies on the Royal Street public right-of-way, the Encroachments being part of the improvements located in the 2nd Municipal District, Square 65, Lot B, bounded by Royal Street, Iberville Street, Bourbon Street, and Bienville Street, bearing the municipal address, 221 Royal Street, New Orleans, Louisiana 70115.

ARTICLE II - SERVITUDE AND CONSENT

Consent of the City. As permitted in *La. C.C. Art. 646*, the City does hereby consent to the exercise by Grantee of all the following rights:

- (a) The exclusive right to erect and own the encroachment burdening the right-of-way according to the attached Exhibit “B.”
- (b) Right to install, maintain, and repair the encroachment burdening the right-of-way according to the attached Exhibit “B.”

ARTICLE III - LIMITATIONS IN GENERAL

(a) The grant of the servitude and accessory rights by City and the exercise thereof by Grantee shall be subject and subordinate to the public use of the right-of-way, governmental laws and regulations, compliance with all of the rights reserved herein by City, and the terms of this Agreement.

(b) **Limitations on Right of Use.** Exercise of the Servitude granted in Sections I and II of this Agreement shall be subject to the following limitations:

- (1) Grantee’s right of use shall be subject to the public’s use of the right-of-way.
- (2) Grantee shall perform all work in a safe and reasonably expeditious manner

at its expense, shall restore the premises of City and any third party to the same condition as existed prior to commencement of any work by Grantee, and shall be responsible for any damage caused to the right-of-way or any third parties resulting from any work by Grantee;

(3) Any right of use shall be exercisable only to the extent that such rights are reserved to Grantor pursuant to this Agreement and subject to any limitations or requirements imposed thereby.

(4) If the Servitude may not be exercised due to the City's use of the right-of-way for a public purpose, Grantee assumes all costs associated with repair, replacement, or demolition of said encroachment.

ARTICLE IV – CONSIDERATION

(a) **Annual Payments.** In consideration of this Grant of Servitude, Grantee shall pay to the City the sum of one thousand five hundred and eighteen dollars (\$1,518.00) per year, until such time as the Servitude is terminated.

(b) **Due Date of Annual Payment.** Grantee shall pay the Annual Payment the first time on or before the date of execution by Grantee of this Grant of Servitude. For subsequent Annual Payments, Grantee shall pay on or before the 1st day of May.

(c) **Late Fee.** Annual Payments received after the 10th of the month, regardless of whether the 10th is a weekend or holiday, will be assessed a late fee in the amount of ten percent (10%) of the total amount due.

(d) **Adjustment of Annual Payment.** The foregoing Annual Payment shall be subject to an upward adjustment of fifteen percent (15%), rounded to the nearest dollar, following the expiration of every fifth year after May 1, 2026.

(e) **Recordation.** Grantee shall record this Grant of Servitude in the Orleans Parish Land Records Division within thirty (30) calendar days of the date of full execution of this Grant of Servitude.

ARTICLE V - DEFAULT

Condition of Default of Annual Payment. If Grantee fails to pay an Annual Payment on or before the due date as defined in Article IV, and Grantee fails to cure such monetary default within fifteen (15) working days after notice from the City to Grantee of such monetary default, the City shall deem Grantee ipso facto in default of this Grant of Servitude.

ARTICLE VI - ENFORCEMENT

(a) **In General:** In the event that Grantee fails to cure any violation of the terms of this Grant of Servitude within fifteen (15) working days after notice of default from the City, the City shall have the right to take any actions as may be necessary in the City's discretion to cure such violation, including but not limited to instituting legal proceedings, placing a lien on the property, and demanding removal of the encroachment(s).

(b) **Costs, Expenses, and Attorney's Fees.** The City shall be entitled to charge Grantee with all costs and expenses incurred by the City as a result of such violation. Should the City institute legal proceedings to enforce this Grant of Servitude, the City shall be entitled to recover from the Grantee all of the attorney's fees, costs, and other expenses reasonably and necessarily incurred.

(c) **Remedies Cumulative.** All rights and remedies provided under this Grant of Servitude are cumulative and may be pursued singularly, in any combination, and in any order.

(d) **Non-Waiver.** The failure to enforce any of the terms and provisions of this Grant of Servitude shall in no event be deemed to be a waiver of the right to thereafter strictly enforce the terms and provisions hereof.

ARTICLE VII - TERM

Except as set forth below, the Servitude and Consent shall be perpetual:

(a) **Termination.** Notwithstanding the foregoing, the Servitude and Consent shall terminate if:

(1) The building and/or encroachment is demolished, substantially damaged, destroyed, or removed and not reconstructed or replaced within one (1) year after such destruction or damage;

(2) The encroachment is taken or removed for public purposes as a whole or in such part that it is not fit for its intended purposes;

(3) Grantee is found to be in default of any of its obligations hereunder; or

(4) Grantee removes the encroachments and provides notice of termination to the City.

(b) **Results of Termination.** Upon termination of the servitude, there shall be no right or obligation to reconstruct the Encroachment, unless such right or obligation is established by law.

ARTICLE VIII - INDEMNITY AND INSURANCE

(a) At all times during the term of this Agreement, Grantee shall and does hereby agree to hold harmless and indemnify the City from and against any and all claims of Grantee or of any third persons for injuries to persons, including death, or damages to property, occurring on the right-of-way and arising from Grantee's use or occupancy of the encroachment, including the defense of all actions brought against the City for such damages, arising from the negligent acts or omissions of the Grantee, its employees, guests, invitees, agents or independent contractors.

(b) If a judgment is rendered thereon against Grantee, in a claim of a third party arising solely and exclusively from an act or omission by the City, its employees, guests, invitees, agents or independent contractors, the City agrees to pay the same to the extent of its comparative fault, to Grantee's complete satisfaction and discharge; provided, however, that the Grantee shall give the City prompt written notice of the existence of any such claims and of any proceedings taken against the Grantee thereon, so that such claims may be investigated and such proceedings may be contested by City.

(c) Grantee reserves the right and option to settle, compromise, and/or pay, any adjudicated claim by a third party for damages resulting from injuries to persons, including death, or damages to property, directly to said claimant, in place and stead of indemnifying the City; but if, and only if, Grantee obtains a valid and lawful complete release, satisfaction, and discharge from the claimant in favor of the City.

(d) Grantee and its successors, heirs, or assigns shall furnish and maintain in effect

during the Term of this Agreement an insurance policy or policies under the following terms:

(1) If Grantee or its successors, heirs, and/or assigns to title of the Property is a non-individual, such as a corporation, partnership, limited liability company, or other entity, insurance shall remain in effect with limits of liability not less than \$1,000,000.00 / \$2,000,000.00, covering general commercial liability, in which policy or policies the City shall either be carried as an additional named insured or provision shall be made to insure the liability of Grantee under the above indemnification and hold harmless agreement under the contractual coverage provisions of said insurance policy or policies. A copy of such policy or policies, or certificate of insurance with reference to same, shall be delivered to the City upon execution of this Servitude.

(2) If Grantee or its successors, heirs, and/or assigns to title of the Property is an individual or individuals, an insurance policy or policies should remain in effect with limits of liability, covering liability, not less than \$1,000,000.00 / \$2,000,000.00.

ARTICLE IX - ASSIGNMENT OR TRANSFER

In the event that the building in which the encroachment forms a part is sold by private or public sale, this Servitude shall be assigned or transferred without the prior consent of the City to the assignee or purchaser of said property. Any instrument assigning or transferring the Servitude shall be delivered to the City along with proof of insurance as required in Section VIII within thirty (30) days of the recordation of said assignment or transfer. Grantee shall cause the assignee or purchaser of said property to assume all obligations of Grantee herein and, effective as of the date of such assignment or transfer, Grantee shall thereafter be released of all obligations set forth in this Agreement including, without limitation, those obligations of Grantee under Section VI and VIII above.

ARTICLE X - NOTICE

(a) **Form of Notice.** All notices, requests, claims, payments, demands and other communications between the Parties shall be in writing.

(b) **Method of Notice.** All notices shall be given: (1) by delivery in person, (2) by United States Postal Service, (3) by first class, registered or certified mail, postage prepaid, or (4) by electronic mail to the address of the Party specified in this Grant of Servitude or such other address as either Party may specify in writing. It is the responsibility of the Grantee to ensure the City has current and accurate mailing and electronic addresses at all times.

(c) **Receipt of Notice.** All notices shall be effective upon: (1) receipt by the Party to which notice is properly given, or (2) on the fifth day following mailing, whichever occurs first.

(d) **Grantee.** All notices to the Grantee shall be addressed to:

221 Royal, LLC
5305 Purdue Drive
Metairie, LA 70003
dixonbetz@gmail.com

- (e) **The City.** All notices to the City shall be addressed to:

Department of Property Management
Division of Real Estate And Records
1300 Perdido Street, Room 5w06
New Orleans, LA 70112

&

City Attorney
City Of New Orleans
1300 Perdido Street, Suite 5e03
New Orleans, LA 70112

ARTICLE XI - MISCELLANEOUS PROVISIONS

(a) **Amendment.** No amendment of or modification to this Grant of Servitude shall be valid unless and until executed in writing by the duly authorized representatives of both Parties to this Grant of Servitude.

(b) **Conflict of Law.** This Grant of Servitude and the performance thereof shall be governed, interpreted, construed, and regulated by the laws of the State of Louisiana.

(c) **Construction of Agreement.** Neither Party will be deemed to have drafted this Grant of Servitude. This Grant of Servitude has been reviewed by the Parties and shall be construed and interpreted according to the ordinary meaning of the words used so as to fairly accomplish the purposes and intentions of the Parties. No term of this Grant of Servitude shall be construed or resolved in favor of or against the City or the Grantee on the basis of which Party drafted the uncertain or ambiguous language. The headings and captions of this Grant of Servitude are provided for convenience only and are not intended to have an effect on the construction or interpretation of this Grant of Servitude. Where appropriate, the singular includes the plural and neutral words and words of any gender shall include the neutral and other gender.

(d) **Entire Agreement.** This Grant of Servitude, including all incorporated documents, constitutes the final and complete agreement and understanding between the Parties. All prior and contemporaneous agreements and understandings, whether oral or written, are superseded by this Grant of Servitude and are without effect to vary or alter any terms or conditions of this Grant of Servitude.

(e) **Exhibits.** The following exhibits will be and are incorporated into this Agreement: Legal Description of Property as Exhibit "A," and Description of Encroachment as Exhibit "B."

(f) **Limitations of the City's Obligations.** The City has no obligations not explicitly set forth in this Grant of Servitude or any incorporated documents or expressly imposed by law.

(g) **No Third-Party Beneficiaries.** This Grant of Servitude is entered into for the exclusive benefit of the Parties, and the Parties expressly disclaim any intent to benefit anyone not a Party to this Agreement.

(h) **Non-Waiver.** The failure of either Party to insist upon strict compliance with any provision of this Grant of Servitude, to enforce any right or to seek any remedy upon discovery of any default or breach of the other Party at such time as the initial discovery of the existence of such noncompliance, right, default or breach shall not affect nor constitute a waiver of either

Party's right to insist upon such compliance, exercise such right or seek such remedy with respect to that default or breach or any prior contemporaneous or subsequent default or breach.

(i) **Severability.** Should a court of competent jurisdiction find any provision of this Grant of Servitude to be unenforceable as written, the unenforceable provision should be reformed, if possible, so that it is enforceable to the maximum extent permitted by law. If reformation is not possible, then the unenforceable provision shall be fully severable, and the remaining provisions of the Grant of Servitude shall remain in full force and effect and be construed and enforced as if the unenforceable provision was never a part of the Grant of Servitude.

(j) **Counterparts.** This Agreement may be executed in one or more counterparts, each of which shall be deemed to be an original copy of this Agreement, but all of which, when taken together, shall constitute one and the same agreement.

(k) **Electronic Signature and Delivery.** The Parties agree that a manually signed copy of this Agreement and any other document(s) attached to this Agreement delivered by email shall be deemed to have the same legal effect as delivery of an original signed copy of this Agreement. No legally binding obligation shall be created with respect to a party until such party has delivered or caused to be delivered a manually signed copy of this Agreement.

[SIGNATURES CONTAINED ON NEXT PAGES]

[The remainder of this page is intentionally left blank.]

THUS DONE AND PASSED, in my office in New Orleans, Louisiana, on this _____ (day) of _____ (month), 20____, in the presence of the undersigned competent witnesses, and with the said appearer and me, a Notary Public, after due reading of the whole, the Grantor hereto has executed this Agreement.

WITNESS:

By: _____

Printed Name: _____

GRANTOR:

CITY OF NEW ORLEANS

BY: _____
HELENA N. MORENO, MAYOR

WITNESS:

By: _____

Printed Name: _____

NOTARY PUBLIC

APPROVED AS TO FORM AND LEGALITY:

Law Department

By: _____

Printed Name: _____

THUS DONE AND PASSED, in my office in _____, Louisiana, on this _____ (day) of _____ (month), 20____, in the presence of the undersigned competent witnesses, and with the said appearer and me, a Notary Public, after due reading of the whole, the Grantee hereto has executed this Agreement.

WITNESS:

By: _____

Printed Name: _____

GRANTEE:

BY: _____

221 ROYAL, LLC

WITNESS:

By: _____

Printed Name: _____

Attn: 221 Royal, LLC
5305 Purdue Drive
Metairie, LA 70003

NOTARY PUBLIC

[EXHIBITS “A” & “B” CONTAINED ON NEXT PAGES]

EXHIBIT A

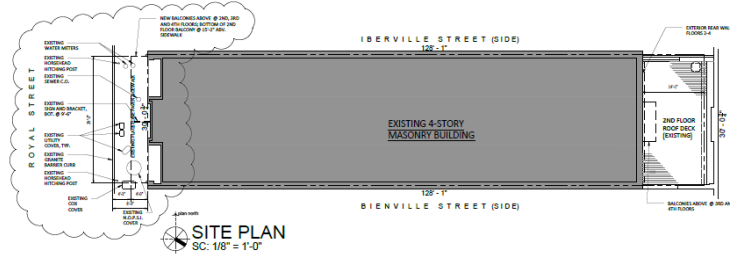
ONE CERTAIN LOT OR PARCEL OF GROUND, together with all the rights, ways, privileges, servitudes and advantages thereunto belonging or in anywise appertaining, situated in the Parish of Orleans, State of Louisiana, City of New Orleans, Second District,

and according to a plan of Paul J. Kocke, Sr., P.L.S., dated April 18, 2000, attached to act filed for record in CIN 196841, N.A.#2000-17464 for reference, said lot is designated as LOT B, SQUARE 65, bounded by Royal, Bienville, Bourbon and Iberville Streets, which lot commences 154.6.0 Actual (154.5.0 Title) feet from the corner of Iberville Street, and measures thence 30.0.6 Actual (30.0.0 Title) feet front on Royal Street, the same in width in the rear, by a depth between equal and parallel lines of 128.1.0 Actual (127.10.4 Title) feet.

Improvements bear Mun. Nos. 221-23 Royal Street New Orleans, LA 70130

Being the same property acquired by The Henry at Royal, LLC by an Act of Conveyance dated June 12, 2024, registered at CIN 742890; previously acquired by Paul L. Friedlander by Judgment of Possession in the Succession of Henry L. Granet dated January 3, 2024, registered at CIN 742879, Parish of Orleans, State of Louisiana.

EXHIBIT B



GENERAL NOTES

- [illegible]

PROJECT DATA

1. AREA:
1st FLOOR 3,578 G.S.F.
2nd FLOOR 3,172 G.S.F.
3rd FLOOR 2,230 G.S.F.
4th FLOOR 3,390 G.S.F.
TOTAL BUILDING AREA 12,370 G.S.F.

2. CITY OF NEW ORLEANS ZONING CLASSIFICATION VCC-2

3. LIFE SAFETY CODE NFPA 305 CLASSIFICATION:
ON 30, EXISTING BUSINESS OCCUPANCY, @ 1ST FLOOR
ON 30, NEW APARTMENTS, @ UPPER FLOORS (2-4)

4. IBC 2011 CLASSIFICATION:
GROUP B, BUSINESS OCCUPANCY @ 1st FLOOR
GROUP RA, APARTMENTS @ UPPER FLOORS

5. BUILDING CONSTRUCTION TYPE IS-B

EXTERIOR KEYNOTES

- 2 PAINT EXISTING FRONT AND REAR FACADES, INCLUDING STUCCO, WOOD WINDOWS, PLASTER, WOOD DOORS, AND TRIM. SEAL WINDOW OPENINGS.

FLOOR PLAN LEGEND

NOTE: ALL CONSTRUCTION IS NEW UNLESS NOTED AS "EXISTING" IN LEGEND AND/OR FLOOR PLANS

-
- EXISTING SOLID MASONRY WALL TO REMAIN.
2 HOUR RATED MS.
- NEW NON-RATED DOOR WALL PER IBC.
RE PARTITION TYPE 2/AA.4
- NEW 1 HOUR RATED FIRE BARRIER, STOP PARTITION, TYPE 1.
RE PARTITION TYPE 1/AA.4
- NEW 1 1/2\"/>
- NEW 1 1/2\"/>
- NEW 1 1/2\"/>
- NEW (NON-RATED, NON-LOAD BEARING) 2\"/>
- EXISTING FIRE RATED PARTITION - SEE FLOOR PLANS
- PORTABLE FIRE EXTINGUISHER - 2 1/2 LBS. ABC RATED,
MOUNTED RESIDE KITCHEN CABINET.
- FIRE EXTINGUISHER IN SURFACE MOUNTED GLASS FRONT CABINET,
2 LBS. ABC RATED
- RE: GROUND PLAN
- BUILT-IN PAINTED WOOD SHELVING WITH HANGING ROD BELLY:
PROVIDE SHELVE IN WALL, PROVIDE 2 ROWS WHERE INDICATED
WITH HANGING LAMP SHADE THAT IS COORDINATED WITH CHANGED
- EXTERIOR RENOVATES, RE: THIS SHEET
- INTERIOR RENOVATES, RE: THIS SHEET
- APPLIANCE TAG, RE: APPLIANCE SCHEDULE SHEET A6.1

PROJECT TEAM:

OWNER:
221 Royal, LLC

ARCHITECT:
ShannonArchitects, apac
Contact: L. Katherine Harmon, Principal / Owner
304.483.5870 (o)
304.717.1247 (m)
harmoni@shannonarchitects.com

GC:
LJ Gullett, Project Architect
304.669.4130 (o)
harmoni@shannonarchitects.com

STRUCTURAL ENGINEER:
Axis Engineering
Contact: James Heaslip, P.E.
304.380.0806 (o)
james@axiseng.com

MECHANICAL / PLUMBING ENGINEER:
Herring Engineering, LLC
Contact: Michael Herring, P.E.
304.431-4739 (o)
michael@herring-eng.com

ELECTRICAL ENGINEER:
Egs Engineering Design, LLC
Contact: Larry Wootch (o)
304.889.0074 (o)
304.600.1892 (m)
larrym@egs-inc.com

INDEX OF DRAWINGS:

- [illegible]

PHASE 3 SCOPE OF WORK INCLUDES:

- [illegible]



These drawings and specifications have been prepared under my direct supervision. They comply with all City requirements to the best of my knowledge and belief. I am not currently administering the work.

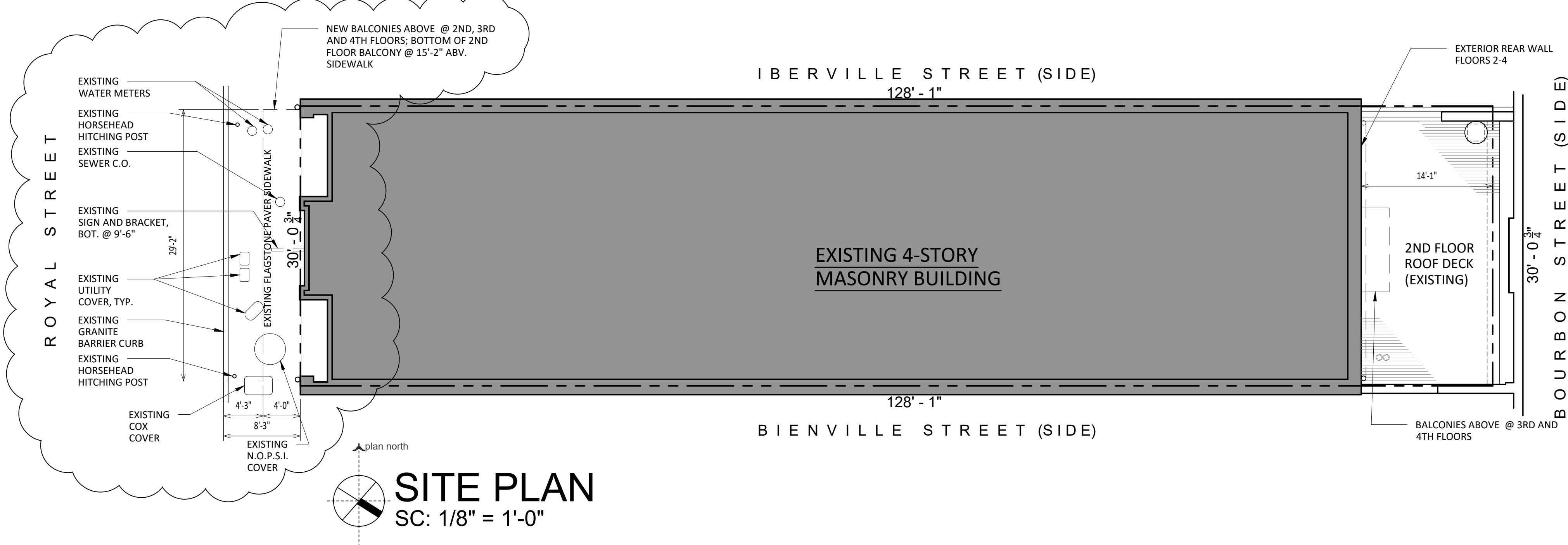
Loretta Katherine Harmon, Louisiana State Lic. No. 4378
Elizabeth Harmon Gullett, Louisiana State Lic. No. 7109
LKHarmOnArchitects
A Professional Architectural Corporation
LA State Lic. No. AC0523

[illegible]

221 - 223 ROYAL STREET
RENOVATION - PHASE 3
New Orleans, LA 70130



ARCH full bleed D (24.00 x 36.00 inches)



FLOOR PLAN LEGEND

- NOTE: ALL CONSTRUCTION IS NEW UNLESS NOTED AS "EXISTING" IN LEGEND AND/OR FLOOR PLANS
- DEMOLISH
- EXISTING SOLID MASONRY WALL TO REMAIN, 2-HOUR RATED MIN.
- NEW NON-RATED STUD WALL, TYPE 3;
RE: PARTITION TYPES 2/A4.4
- NEW 1-HOUR RATED FIRE BARRIER, STUD PARTITION, TYPE 1;
RE: PARTITION TYPES 2/A4.4
- NEW (2.1) NON LOAD-BEARING OR
EXISTING (2) LOAD-BEARING 2-HOUR ELEVATOR
HOISTWAY STUD WALL PER U.L. U301, RE: 2/A4.4
- NEW (NON-RATED, NON-LOAD BEARING) 2x6 WALL FURRING
- EXISTING FIRE RATED PARTITION - SEE FLOOR PLANS
- PORTABLE FIRE EXTINGUISHER - 2.5 LB. ABC RATED,
MOUNTED INSIDE KITCHEN CABINET
- FIRE EXTINGUISHER IN SURFACE MOUNTED GLASS FRONT CABINET,
5LB ABC RATED
- RE: CEILING PLAN
- BUILT-IN PAINTED WOOD SHELVING WITH HANGING ROD BELOW;
PROVIDE BLOCKING IN WALL; PROVIDE 2-ROWS WHERE INDICATED;
CLOSET SHELVING LAYOUT SHALL BE COORDINATED WITH OWNER
- EXTERIOR KEYNOTES, RE: THIS SHEET
- INTERIOR KEYNOTES, RE: THIS SHEET
- APPLIANCE TAG, RE: APPLIANCE SCHEDULE SHEET A6.1

PHASE 3 SCOPE OF WORK INCLUDES:

- G.C. SHALL COMPLETE THE CONSTRUCTION OF (5) BALCONIES AT FRONT AND REAR FACADES, INCLUDING WORK ASSOCIATED WITH BALCONIES, SUCH AS STRUCTURAL FRAMING, DECKING, AND RAILS, MASONRY OPENING MODIFICATIONS, MILLWORK (EXTERIOR DOORS / SHUTTERS), EXTERIOR LIGHTING, REPAIR OF INTERIOR FLOORS/CEILINGS NECESSARY FOR INSTALLATION STRUCTURE. THE 2ND FLOOR FRONT BALCONY FRAMING SHALL BE INSTALLED FROM ABOVE SO AS TO MINIMIZE DISTURBANCE OF EXISTING GALLERY.
- G.C. SHALL COMPLETE THE EXTERIOR WORK OUTLINED WITHIN THESE DRAWINGS, INCLUDING NEW EXTERIOR WINDOW ON REAR, PER PLANS; NEW OR REPAIRED EXTERIOR SHUTTERS ON REAR, PER PLANS; RESTORE EXISTING WOOD WINDOWS TO ORIGINAL OPERABLE CONDITION, TYP.; COMPLETE EXTERIOR PAINTING OF FRONT AND REAR FACADES; G.C. SHALL SURVEY EXISTING WINDOWS PRIOR TO SUBMITTING A BID TO DETERMINED SCOPE OF EXTERIOR WINDOW RESTORATION NECESSARY.
- G.C. SHALL COMPLETE THE INTERIOR BUILD-OUT OF (6) APARTMENTS, (2) AT EACH THE 2ND, 3RD, AND 4TH FLOORS. BUILD-OUT SHALL BE PER ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL PLANS. WORK REQUIRED TO OCCUR WITHIN THE EXISTING FIRST FLOOR GALLERY SPACE SHALL, SUCH AS INSTALLATION OF ELECTRICAL AND PLUMBING LINES, SHALL BE COORDINATED WITH THE OWNER'S OPERATING SCHEDULE.
- G.C. SHALL COMPLETE THE MODIFICATIONS TO EXISTING NFPA 13 SPRINKLER SYSTEM AT THE 2ND, 3RD AND 4TH FLOORS SHALL CONFORM TO NEW PLANS.
- FIRE ALARM WORK WILL BE CONTRACTED BETWEEN THE OWNER AND THEIR VENDOR, SECURITY BY APS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH APS AS NECESSARY FOR COMPLETION OF FIRE ALARM MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM AT THE 2ND, 3RD, AND 4TH FLOOR WHICH SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE LOUISIANA STATE FIRE MARSHAL'S OFFICE APPEAL AP-25-007227.

PROJECT TEAM:

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221 Royal, LLC

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These drawings and specifications have been prepared under my direct supervision. They comply with all City requirements to the best of my knowledge and belief. I am not generally administering the work.
Loretta Katherine Harmon, Louisiana State Lic. No. 4378
Elizabeth Harmon Gullett, Louisiana State Lic. No. 7109
LKHarmOnArchitects
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GENERAL NOTES

- FLOOR PLANS ARE DIMENSIONED TO FACE OF FINISH TYP., UNLESS NOTED OTHERWISE.
- ALL ITEMS ARE NEW UNLESS NOTES AS "EXISTING".
- THE BUILDING IS FULLY EQUIPPED WITH A SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13. MODIFY THE EXISTING SPRINKLER SYSTEM TO CONFORM TO NEW FLOOR PLAN; SPRINKLER MODIFICATIONS SHALL BE DESIGNED BY SPRINKLER SUBCONTRACTOR IN COORDINATION WITH THE G.C.; SHOP DRAWINGS SHALL BE PRODUCED BY THE SPRINKLER SUBCONTRACTOR AND SUBMITTED TO AND APPROVED BY THE LA OSFM PRIOR TO THE COMMENCEMENT OF SPRINKLER WORK.
- THE BUILDING IS EQUIPPED WITH A FIRE ALARM SYSTEM; MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM, TO CONFORM TO THE NEW FLOOR PLAN, SHALL BE DESIGNED BY THE FIRE ALARM SUBCONTRACTOR WHOM SHALL BE DIRECTLY CONTRACTED BY THE OWNER. GENERAL CONTRACTOR SHALL COORDINATE WITH THE FIRE ALARM AND SECURITY SUBCONTRACTOR. RE: GEN NOTE # 5 FOR APPEAL REQUIREMENTS RELATIVE TO FIRE ALARM. FIRE ALARM AND SECURITY VENDOR CONTACT INFORMATION: CHARLIE DOURoux, SECURITY BY APS, 504.715.4778.
- AN APPEAL HAS BEEN GRANTED BY THE LA OSFM TO PERMIT A SINGLE EGRESS STAIR, PER AP-25-007227 WITH THE FOLLOWING STIPULATIONS:

PROVIDE COMPLETE AUTOMATIC SMOKE DETECTION SYSTEM COVERAGE THROUGHOUT THE REFERENCED FACILITY IN ACCORDANCE WITH NFPA 101:9.6.2.9 AND IBC 907.2.11.7. ACTIVATION OF A SMOKE DETECTOR OUTSIDE OF THE DWELLING UNITS SHALL ACTIVATE THE ALARM WITHIN THE DWELLING UNITS.
-IN ORDER TO AVOID FALSE ALARMS, LOW TEMPERATURE AUTOMATIC HEAT DETECTORS CONNECTED TO THE BUILDING'S FIRE ALARM SYSTEM IN LIEU OF AUTOMATIC SMOKE DETECTORS SHALL BE ACCEPTABLE IN SPACES HAVING ENVIRONMENTS UNSUITABLE FOR PROPER SMOKE DETECTOR OPERATION.
-THE SMOKE/HEAT DETECTION SYSTEM REFERENCED IN THIS DOCUMENT SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF NFPA 72 AND SHALL BE MAINTAINED OPERATIONAL AS A REQUIRED PORTION OF THE BUILDING'S FIRE ALARM SYSTEM.
-INITIATION OF ANY SMOKE DETECTION DEVICE SHALL ACTIVATE THE FIRE ALARM. NOTIFICATION SHALL BE BY AUDIBLE AND VISIBLE ALARM.
SUBMIT FIRE ALARM SYSTEM SHOP DRAWINGS (OR MODIFICATIONS TO PREVIOUSLY SUBMITTED FIRE ALARM SHOP DRAWINGS) FOR REVIEW WITH A COMPLETED APPLICATION AND THE APPROPRIATE REVIEW FEE PRIOR TO INSTALLATION OF ANY FIRE ALARM SYSTEM MODIFICATIONS NECESSARY TO COMPLY WITH THIS DETERMINATION OF EQUIVALENCY.

- THE DESIGN OF THE NEW CONSTRUCTION COMPONENTS ARE COMPLIANT WITH IECC2021 ENERGY CODE AND THE STATE AMENDMENTS TO THE GREATEST EXTENT FEASIBLE.
- G.C. SHALL PROVIDE MILLWORK SHOP DRAWINGS FOR NEW EXTERIOR MILLWORK, INCLUDING FRENCH DOORS AND TRANSOMS, WINDOW, CLAD SHUTTERS, FOR V.C.C.'S REVIEW AND APPROVAL PRIOR TO FABRICATION.
- G.S. SHALL INCLUDE A MATERIAL ALLOWANCE OF \$32,000.00 FOR ALL INTERIOR AND EXTERIOR LIGHT FIXTURES.

INTERIOR FLOOR PLAN AND CEILING PLAN KEYNOTES

1	VANITY: 40"W. x 20" DEEP x 36" H. QUARTZ C'TOP AND 4" BACKSPLASH W/ BASE CABINETS BELOW. BATH ACCESSORIES: ONE (1) WALL MIRROR, ONE (1) TOILET PAPER DISPENSER, TWO (2) BATH TOWEL BARS; ONE (1) HAND TOWEL HOOK; PROVIDE BLOCKING IN WALL, TYP.; COORDINATE MATERIALS, FINISHES AND LOCATIONS WITH OWNER; ACCESSORIES, PLUMBING FIXTURES AND FAUCETS SELECTED BY OWNER
2	VANITY: SMALL PEDESTAL SINK WITH FAUCET, SELECTED BY OWNER; BATH ACCESSORIES, SELECTED BY OWNER: ONE (1) WALL MIRROR, ONE (1) TOILET PAPER DISPENSER, ONE (1) HAND TOWEL HOOK; PROVIDE BLOCKING IN WALL, TYP.; COORDINATE MATERIALS, FINISHES AND LOCATIONS WITH OWNER; PLUMBING FIXTURES AND FAUCETS SELECTED BY OWNER
3	ELEC. LOW-BOY WATER HEATER MOUNTED ON ELEVATED PLATFORM ABOVE LAUNDRY; FLUSH, CONCEALED, HINGED WALL ACCESS PANEL, PAINT TO MATCH WALL. 36" W. x 30"H.; RE: M/E/P
3.1	ELEC. LOW-BOY WATER HEATER MOUNTED ON ELEVATED PLATFORM ABOVE LAUNDRY; FLUSH, CONCEALED, HINGED WALL ACCESS PANEL, PAINT TO MATCH WALL. 36" W. x 22"H.; RE: M/E/P
4	COUNTERTOPS AND CABINETS PER INTERIOR ELEVATIONS ON SHEETS A3.4. AND A3.5; COORDINATE CABINET LAYOUT WITH APPLIANCE SCHEDULE ON SHEET A6.1; CONCEALED BRACKETS AT ISLAND C'TOP OVERHANGS
5	STACKED WASHER / DRYER, RE: APPLIANCE SCHEDULE, SHEET A6.1; VENT DRYER UP THRU ROOF PER MECHANICAL
6	ELEC. LOW-BOY WATER HEATER MOUNTED ON ELEVATED PLATFORM @ 4'-6" A.F.F.; RE: M/E/P
7	36"H. WAINSCOT WITH EXPOSED BRICK ABOVE, TYP. (WAINSCOT: 1 1/2" METAL FURRING CHANNELS OR P.T. WOOD 2x4'S ON FLAT WITH 1/2" GWB), RE: 3/A3.4
8	2x6 STUD WALL FURRING WITH 1/2" GYPSUM BOARD, FINISH AS SCHEDULED. FILL STUD CAVITIES WITH SOUND ATTENUATING BATTS, TYP. @ LOCATIONS CONCEALING WITH SEWER LINES.
9	WALL FURRING: 2 1/2" METAL STUDS WITH 1/2" GWB, FULL HEIGHT OF WALL
10	FIXED, WALL MOUNTED CLEAR ANOD. ALUMINUM LADDER W/ KEYED SECURITY PANEL; INSULATED ROOF HATCH ABOVE, RE: ROOF PLAN
11	FLUSH, CONCEALED HINGED CEILING ACCESS PANEL, PAINT TO MATCH CEILING; 24" x 48"
12	OVERHEAD PLATFORM ACCESS DOORS ABOVE, RE: DOOR SCHEDULE
13	INFILL WOOD FLOOR FRAMING PER STRUCTURAL DETAILS AND FIRE RATED FLOOR/CEILING ASSEMBLY DETAIL; FLOOR FINISH AS SCHEDULED.
14	WALL FURRING TO MATCH EXISTING ADJACENT, PRIME AND PAINT GYP. BD. AS SCHEDULED.
15	30"x60" TUB W/ SHOWER CONTROLS; TUB AND CONTROLS SELECTED BY OWNER; S.S. SHOWER ROD MOUNTED IN PERMANENTLY AFFIXED WALL BRACKET @ 76" A.F.F.; PROVIDE BLOCKING IN WALL; WALL NICHE BETWEEN STUDS, 16" H. WITH FINISH TO MATCH TUB WALL SURROUND.
16	SHOWER FLOOR BUILT OVER WATERPROOF PAN LINER MEMBRANE; 4" CURB WITH TILE OVER WATERPROOF MEMBRANE; TILE FLOORS SLOPE TO DRAIN, SET IN MUDBED; BENCH @ 18"H. W/ FINISH TO MATCH WALL SURROUND; WALL NICHE BETWEEN STUDS, 16" H. WITH FINISH TO MATCH SHOWER WALL SURROUND; TEMPERED FRAMELESS GLASS SLIDING SHOWER DOOR AND FIXED GLASS WALL, 7' H.
17	FLUSH, CONCEALED HINGED CEILING ACCESS PANEL, PAINT TO MATCH CEILING; 18" x 48"
18	NOT USED
19	LIGHT MOUNTED IN MILLWORK, RE: ELEC.
20	EXISTING SPRINKLER MAIN & TRUNK LINE TO REMAIN; PRIME AND PAINT EXPOSED PIPES; RECONFIGURE BRANCH LINES AS NECESSARY TO CONFORM TO NEW FLOOR PLAN; G.C. TO COORDINATE WITH SPRINKLER SUB WHOM SHALL PREPARE A SHOP DRAWING SUBMITTAL FOR LA OSFM REVIEW AND APPROVAL PRIOR TO INSTALLATION; RE: M / P DRAWINGS
21	FILL CAVITY WITH SOUND ATTENUATING BATT INSULATION
22	PROVIDE / INSTALL GYP. CLG. COVE FOR STRIP L.E.D. LIGHTING
23	ELECTRICAL SUBPANEL, RE: ELECTRICAL SHEETS
24	2ND FLOOR PERIMETER MASONRY WALLS HAVE EXISTING FURRING AND PAINTED GYPSUM, TYP., U.O.N. VERIFY IN FIELD THE DEPTH OF FURRING IS SUFFICIENT TO CONCEAL ELECTRICAL CONDUIT. REMOVE AND REPLACE FURRING AND GYP. BD. IF ADDITIONAL DEPTH IS NECESSARY. RE: ELECTRICAL
25	WHERE DUCT PENETRATES THE FIRE RATED FLOOR / CEILING ASSEMBLY, PROVIDE AND INSTALL AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479; DAMPERS AT EACH FLOOR LEVEL PER MECH.

PROJECT DATA

- AREA:
1st FLOOR3,578 G.S.F.
2nd FLOOR3,172 G.S.F.
3rd FLOOR3,230 G.S.F.
4th FLOOR 3,230 G.S.F.
TOTAL BUILDING AREA13,210 G.S.F.
- CITY OF NEW ORLEANS ZONING CLASSIFICATIONVCC-2
- LIFE SAFETY CODE NFPA 101 2015 CLASSIFICATION:
CH. 39, EXISTING BUSINESS OCCUPANCY, @ 1ST FLOOR
CH. 30, NEW APARTMENTS, @ UPPER FLOORS (2-4)
- IBC 2021 CLASSIFICATION:
GROUP B, BUSINESS OCCUPANCY @ 1st FLOOR
GROUP R2, APARTMENTS @ UPPER FLOORS
- BUILDING CONSTRUCTION TYPE III-B

EXTERIOR KEYNOTES

- PAINT EXISTING FRONT AND REAR FACADES, INCLUDING STUCCO, WOOD WINDOWS, PILASTERS, WOOD DOORS, AND TRIM. SEAL WINDOW OPENINGS.

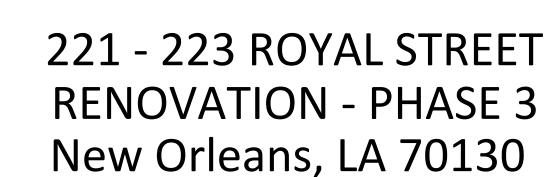
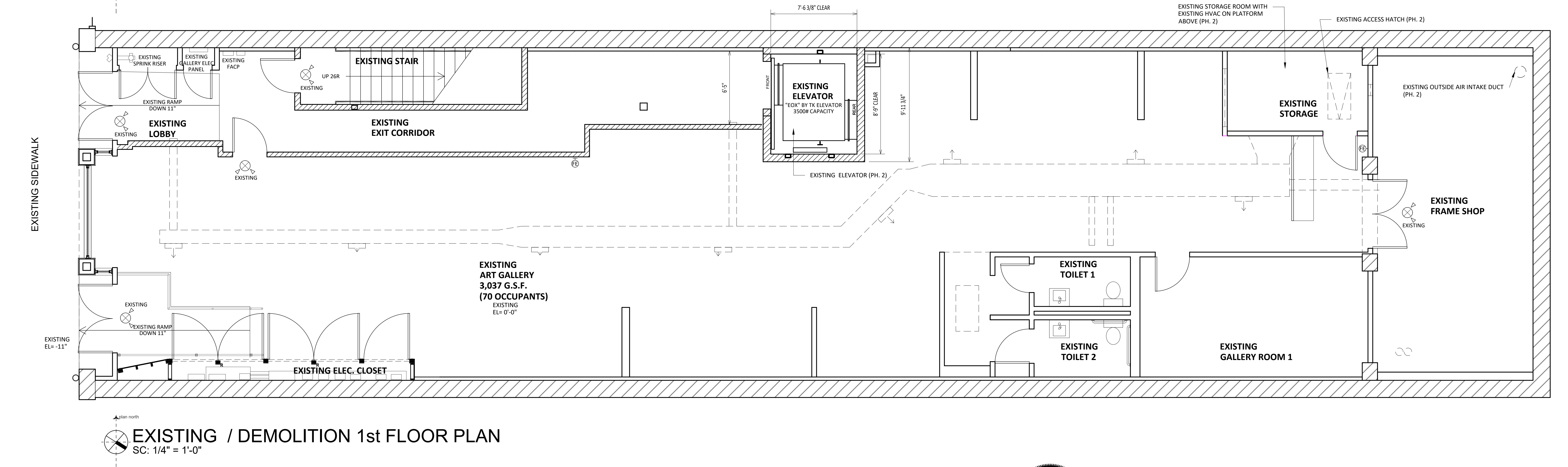
221 - 223 ROYAL STREET
RENOVATION - PHASE 3
New Orleans, LA 70130

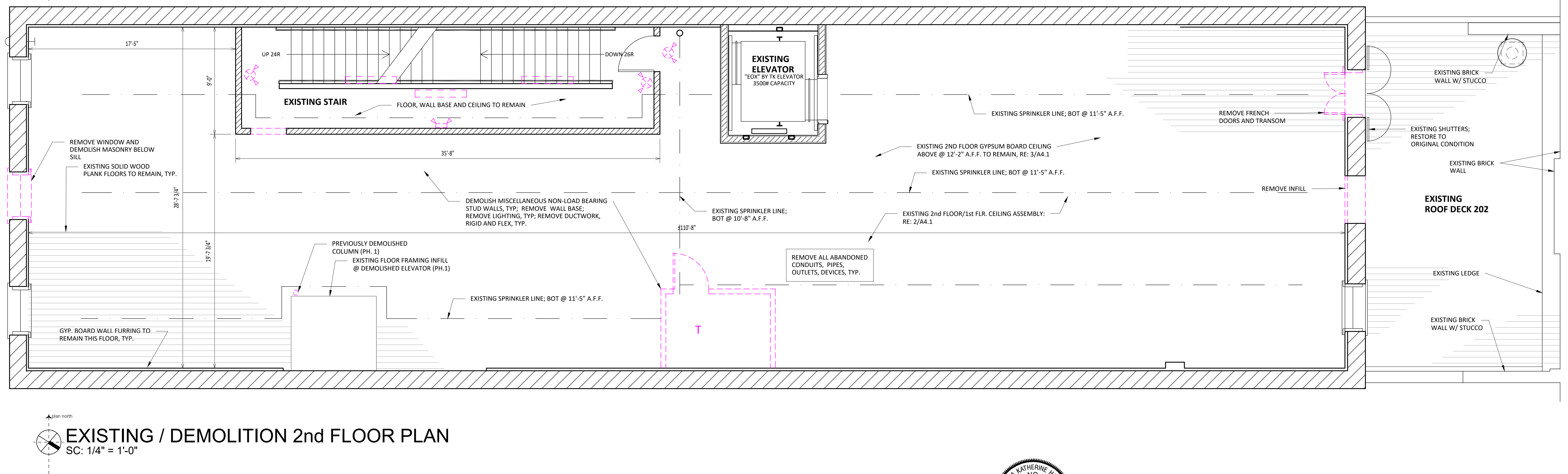
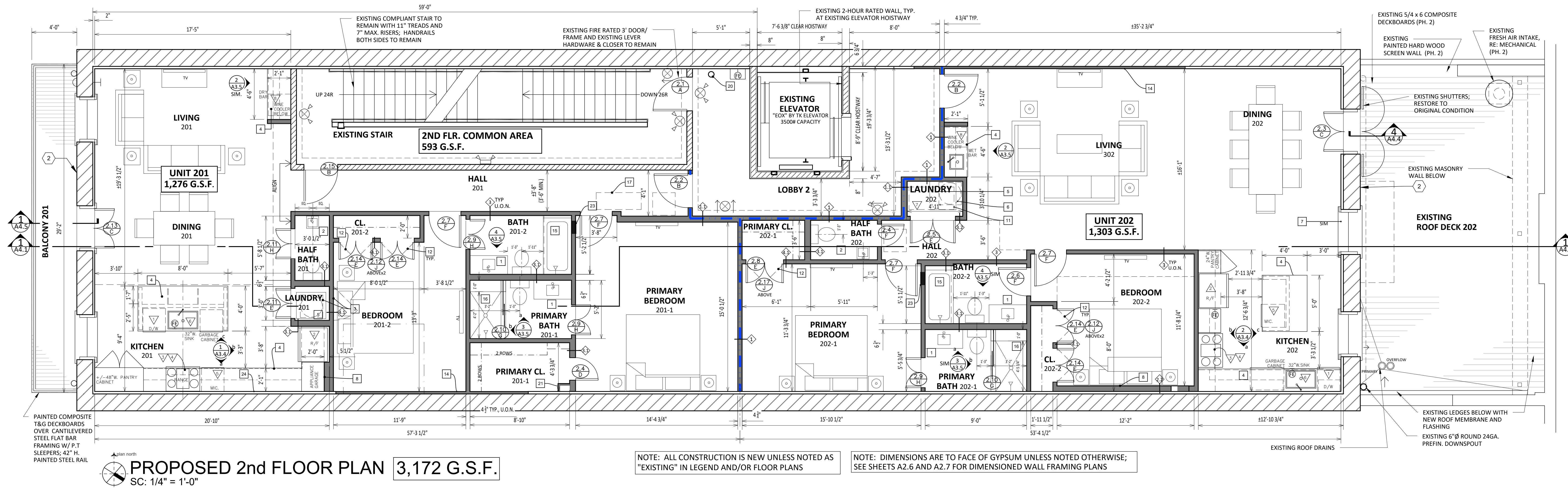
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12.19.2025
1.6.2026 REV. SITE
1.20.2026 BID SET

A1.1

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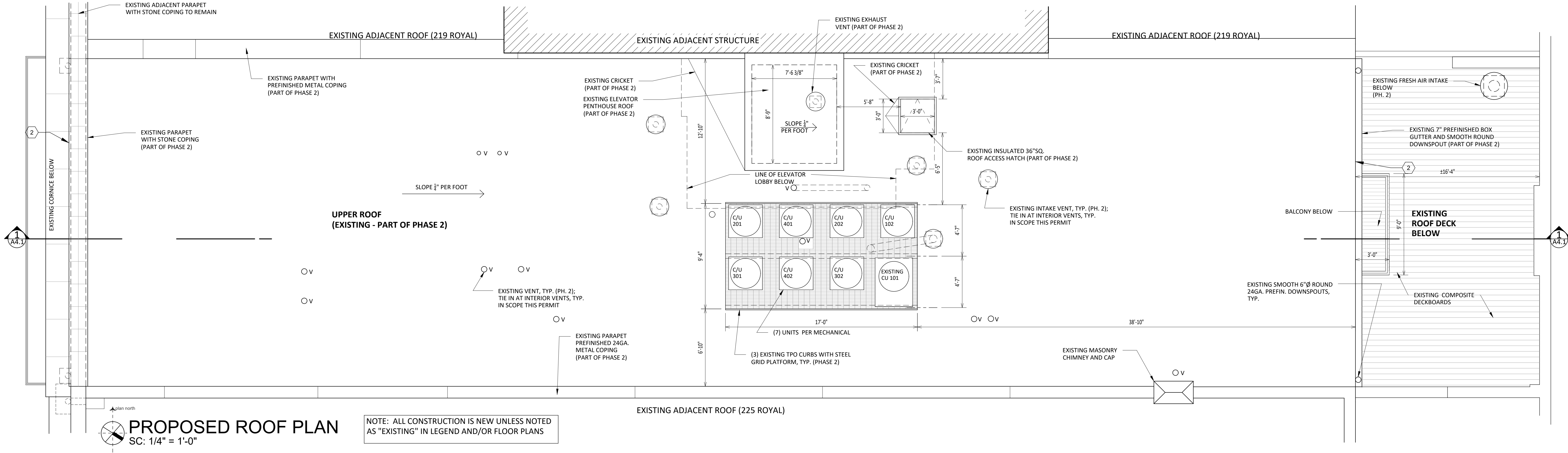
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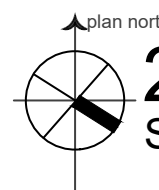
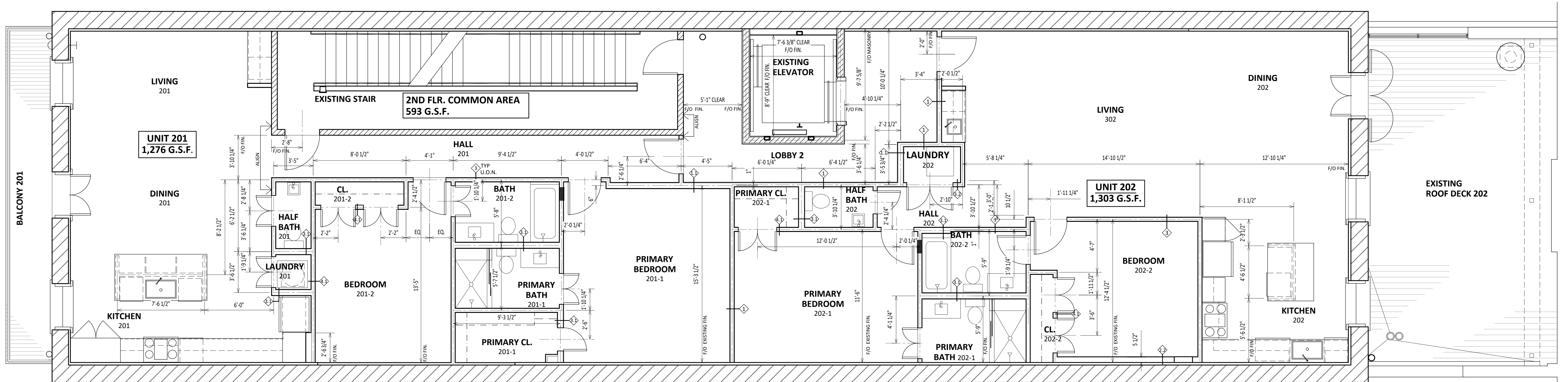


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A2.5
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2nd FLOOR PLAN - DIMENSIONED WALL FRAMING PLAN

SC: 1/4" = 1'-0"

NOTE: DIMENSIONS ARE TO CENTERLINES OF STUD WALLS UNLESS NOTED OTHERWISE



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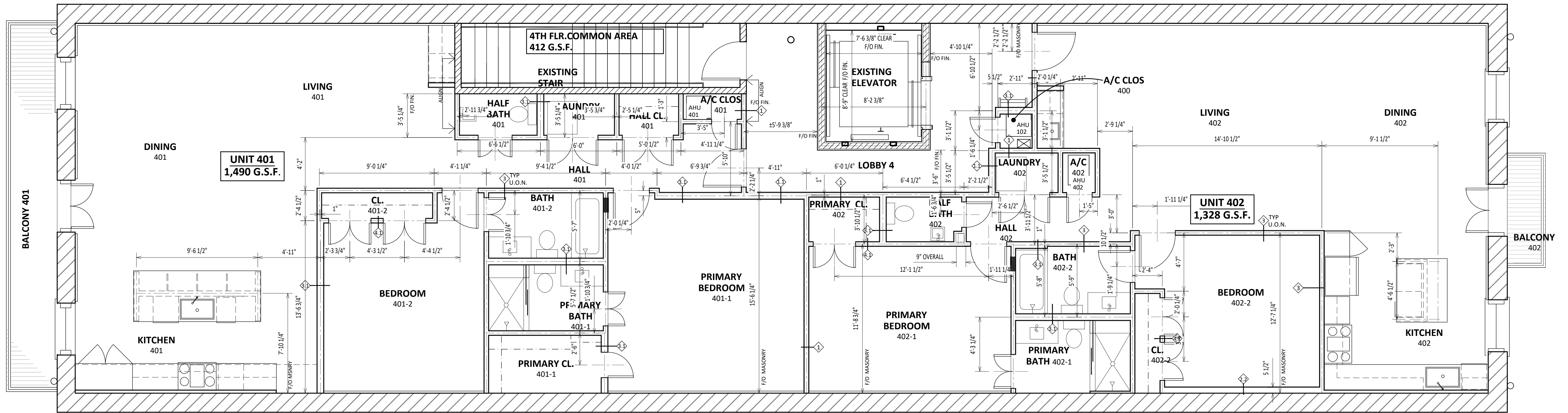
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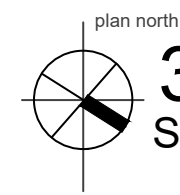
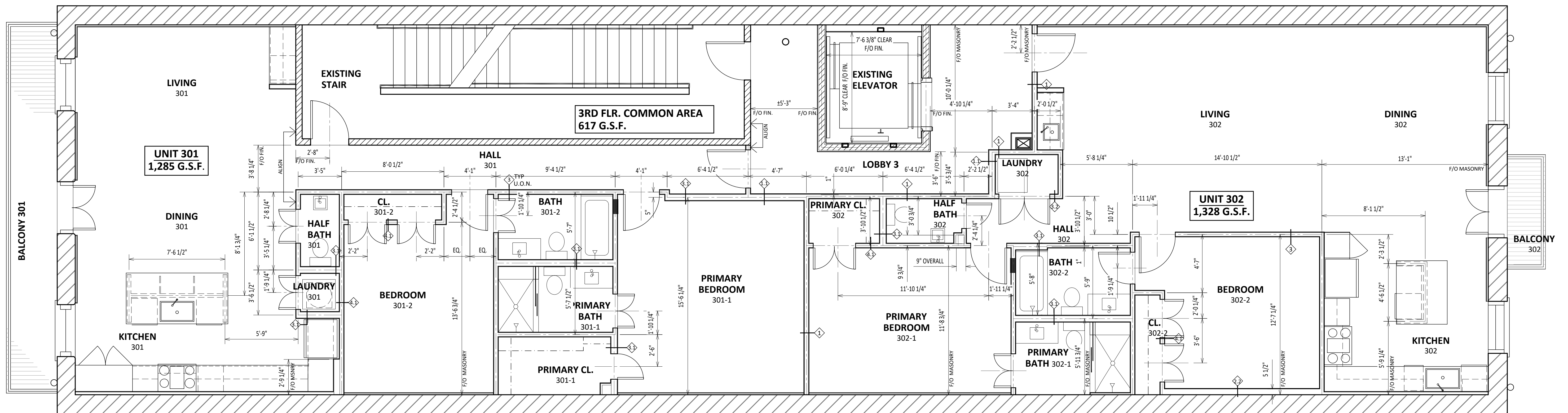
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4th FLOOR PLAN - DIMENSIONED WALL FRAMING PLAN

SC: 1/4" = 1'-0"

NOTE: DIMENSIONS ARE TO CENTERLINES OF STUD WALLS UNLESS NOTED OTHERWISE



3rd FLOOR PLAN - DIMENSIONED WALL FRAMING PLAN

SC: 1/4" = 1'-0"

NOTE: DIMENSIONS ARE TO CENTERLINES OF STUD WALLS UNLESS NOTED OTHERWISE



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RENOVATION - PHASE 3
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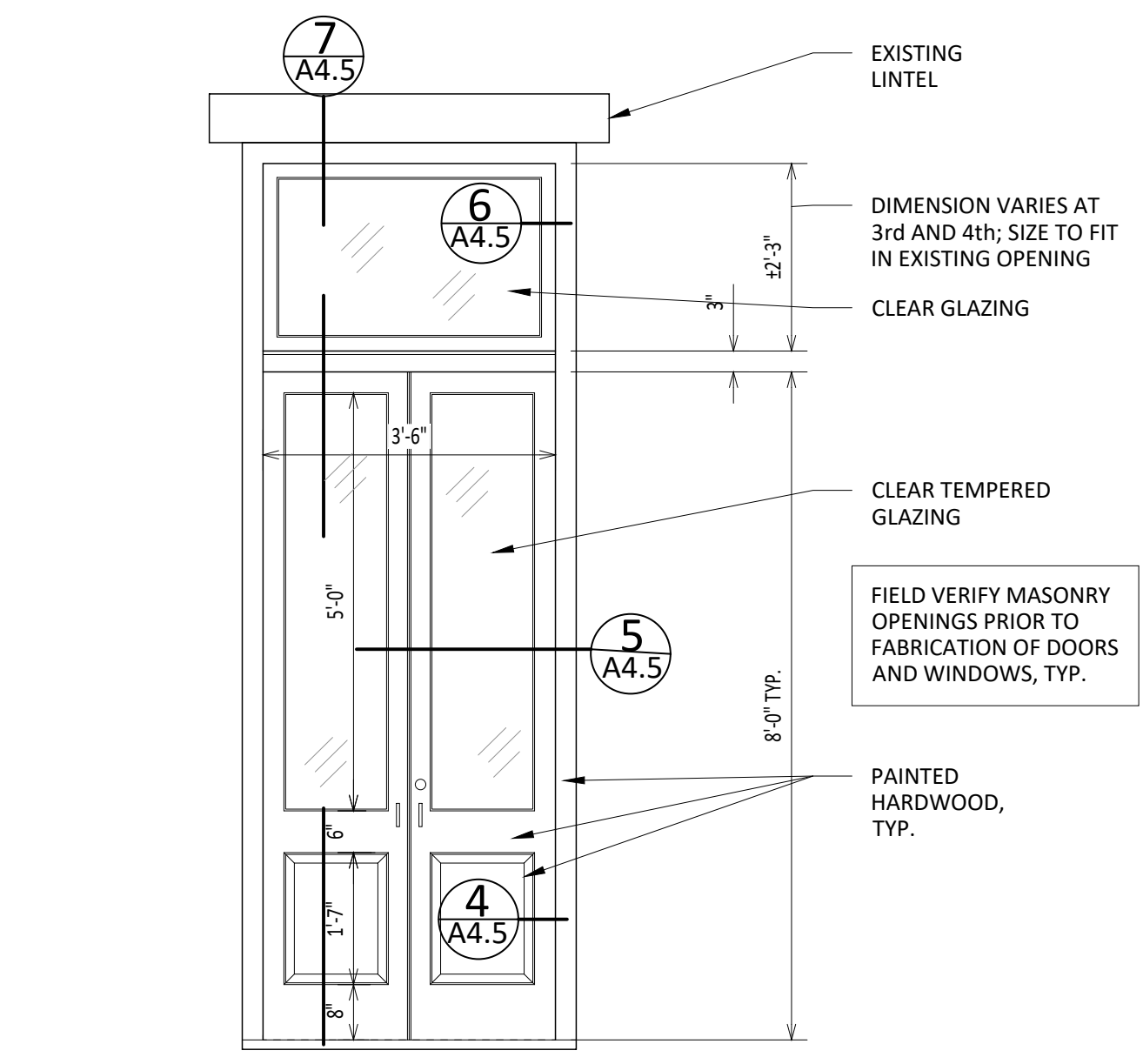
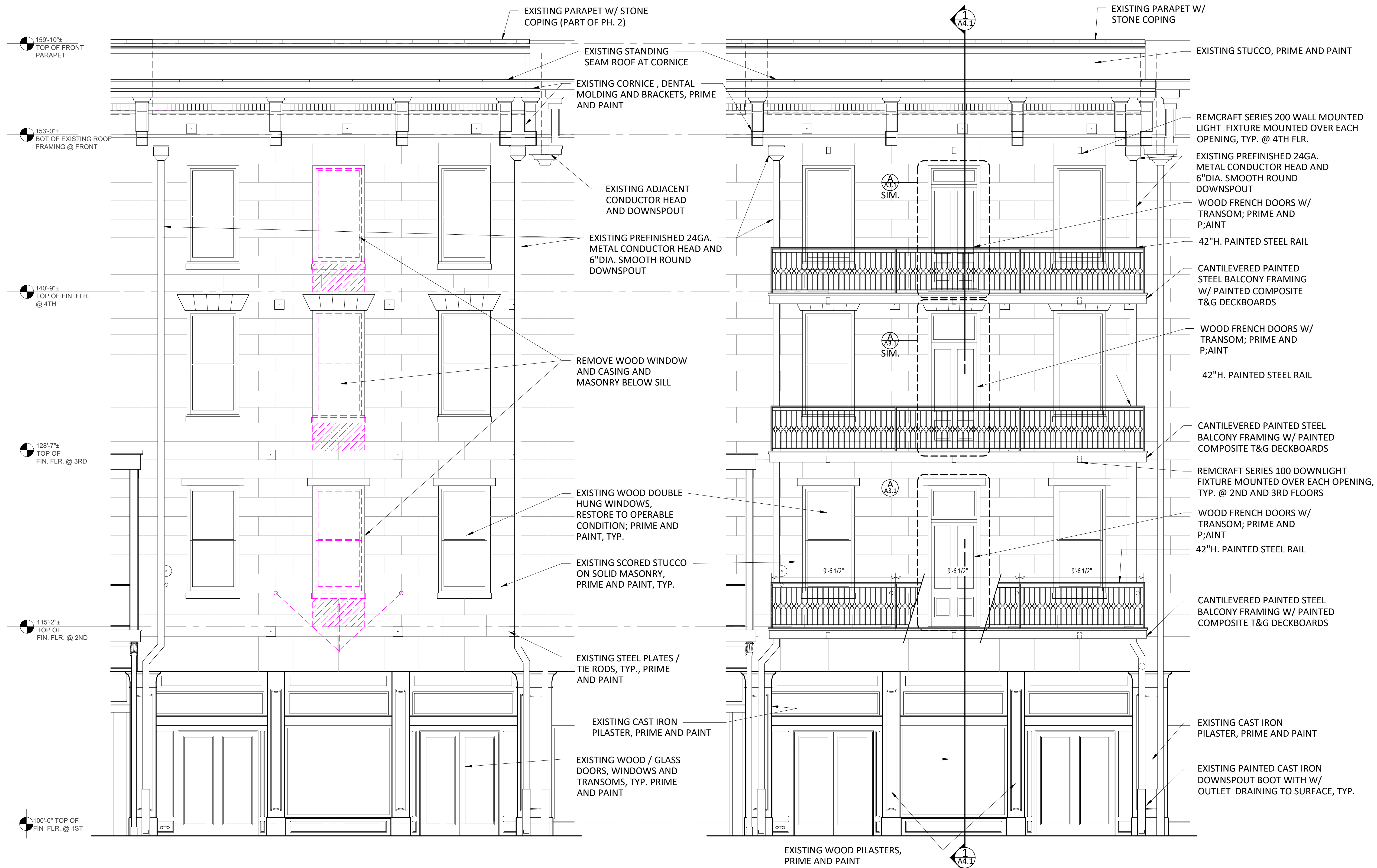
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EXISTING / DEMOLITION FRONT ELEVATION
SC: 1/4" = 1'-0"

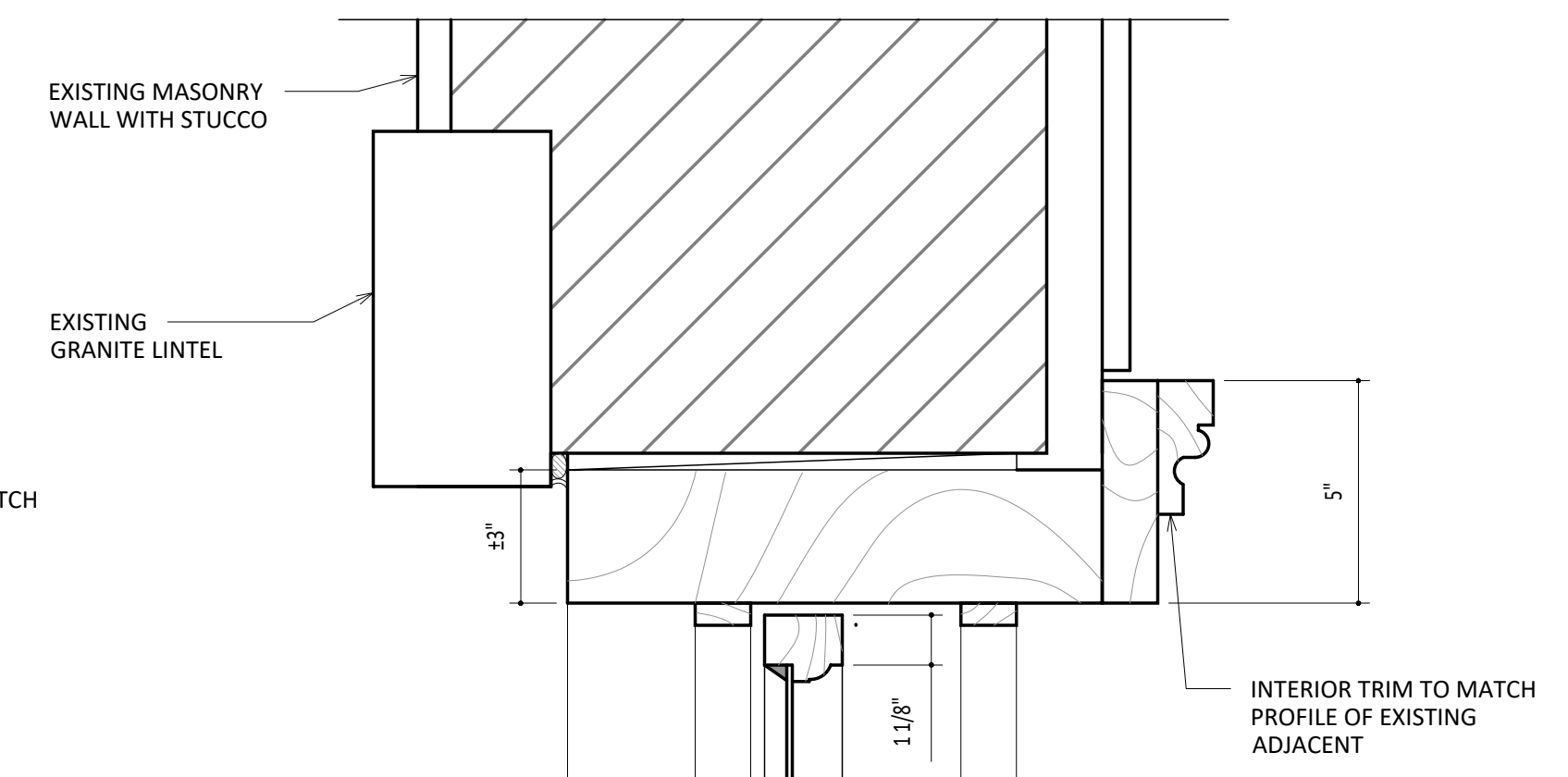
PROPOSED FRONT ELEVATION
SC: 1/4" = 1'-0"

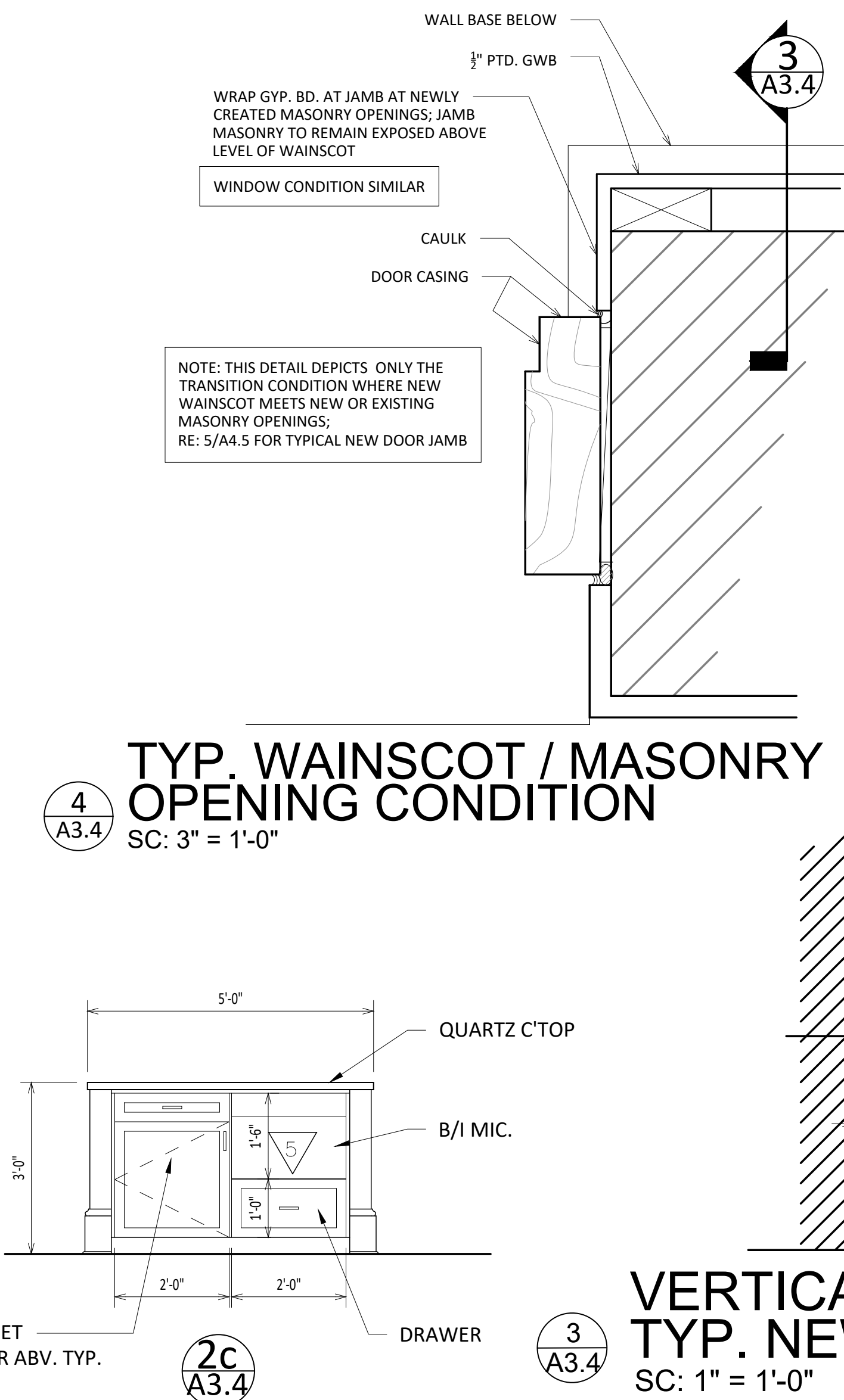


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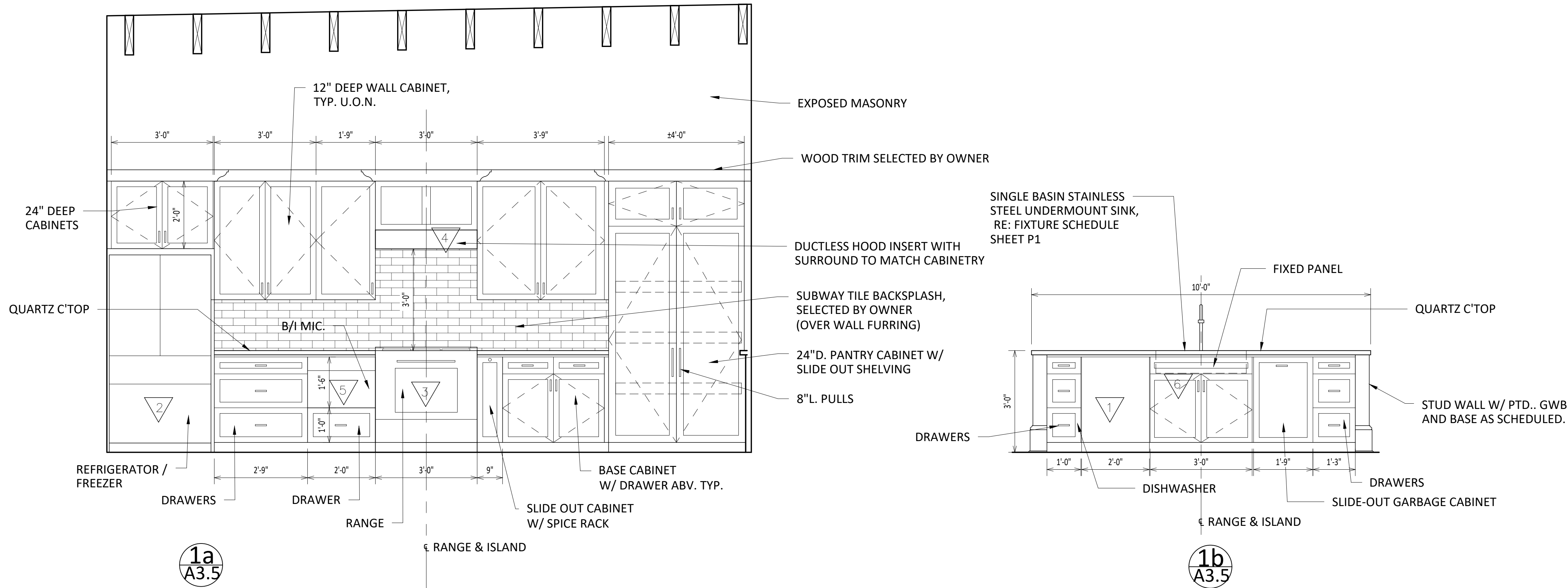




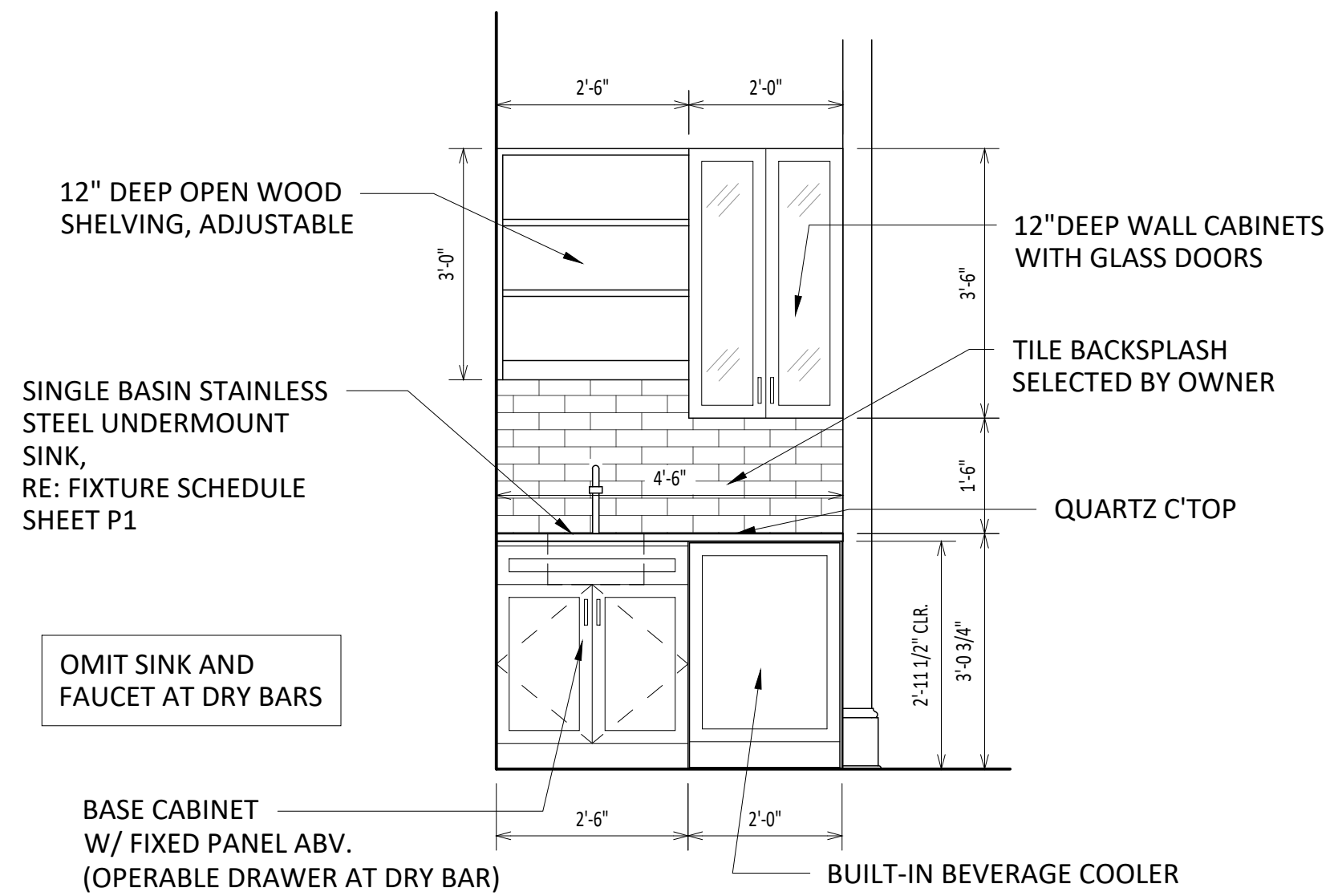
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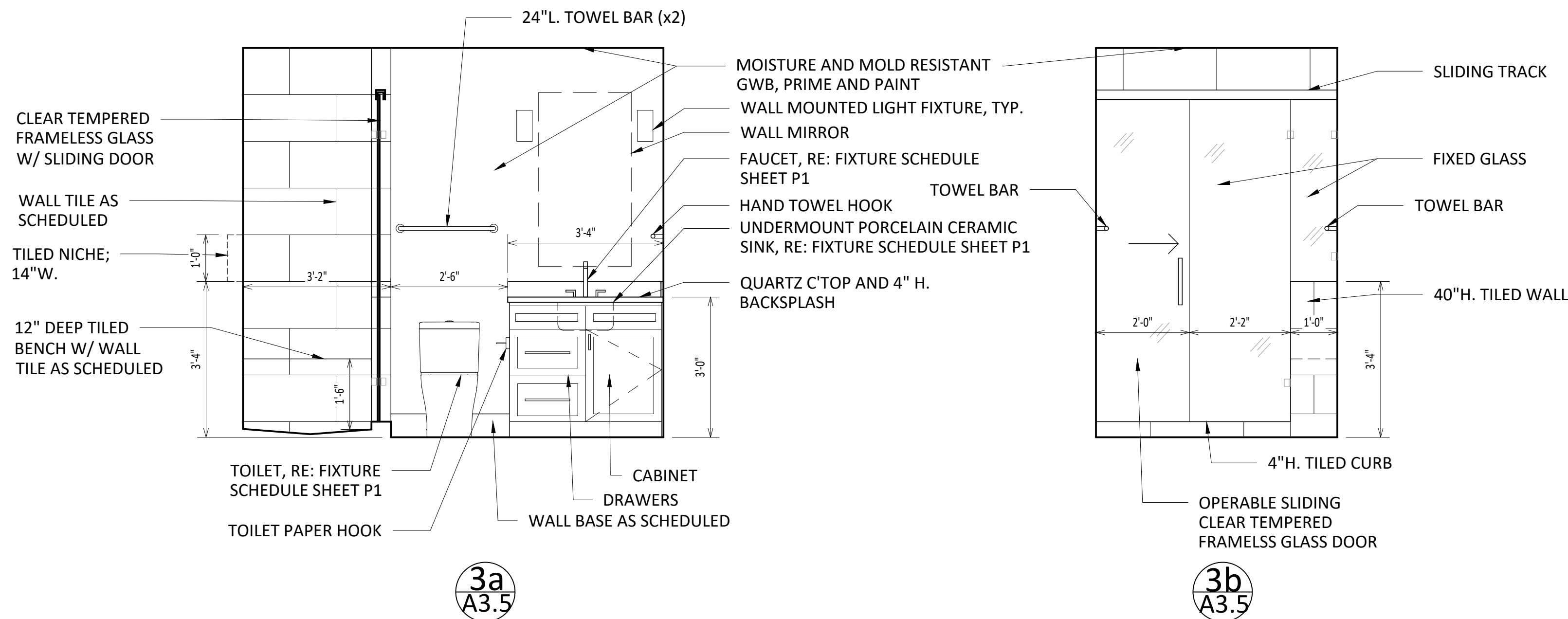
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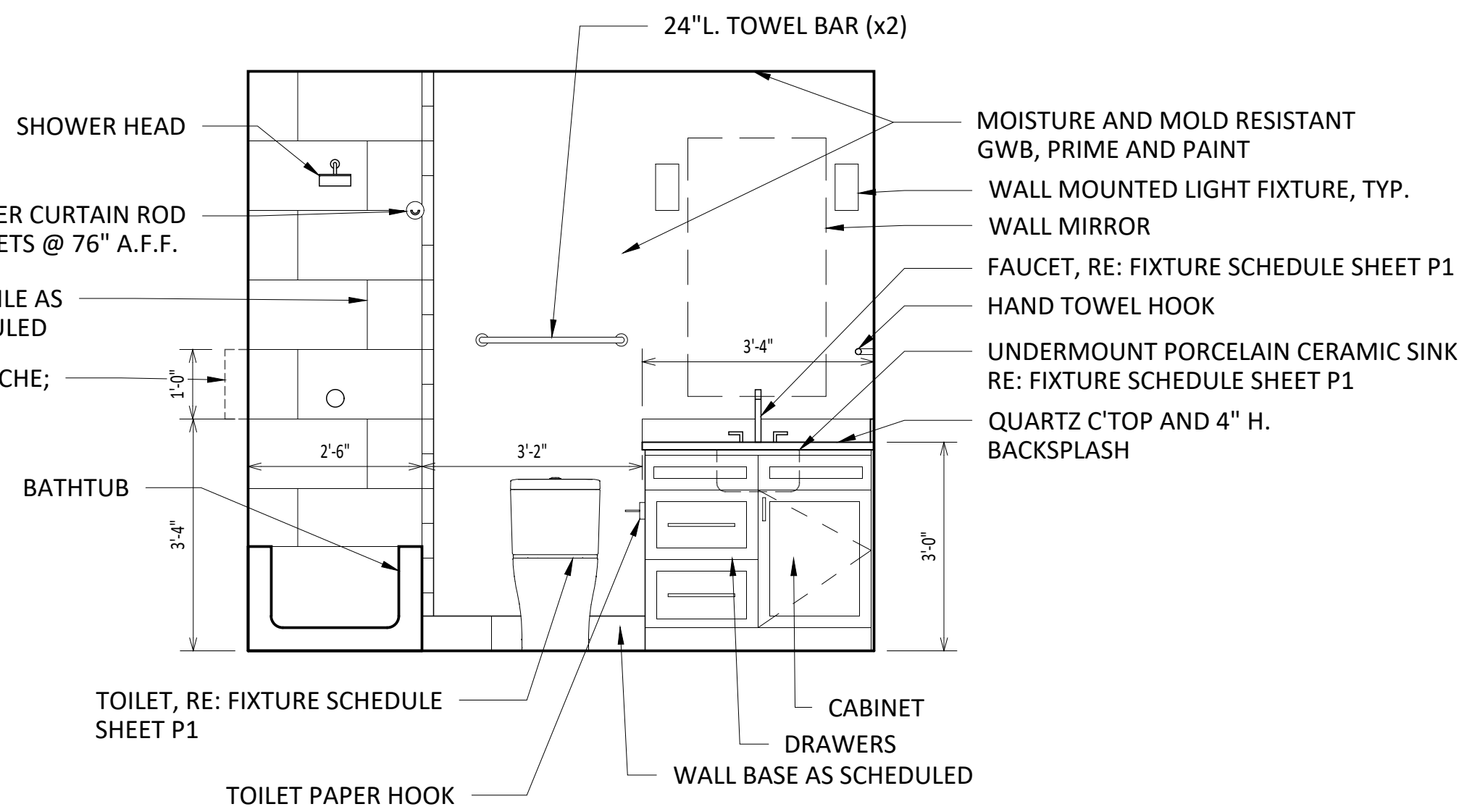
KITCHEN ELEVATIONS: UNIT 401
SC: 1/2" = 1'-0"



ELEVATION @ TYPICAL WET BAR
SC: 1/2" = 1'-0"



ELEVATIONS @ TYPICAL PRIMARY BATH
SC: 1/2" = 1'-0"



ELEVATION @ TYPICAL BATH
SC: 1/2" = 1'-0"



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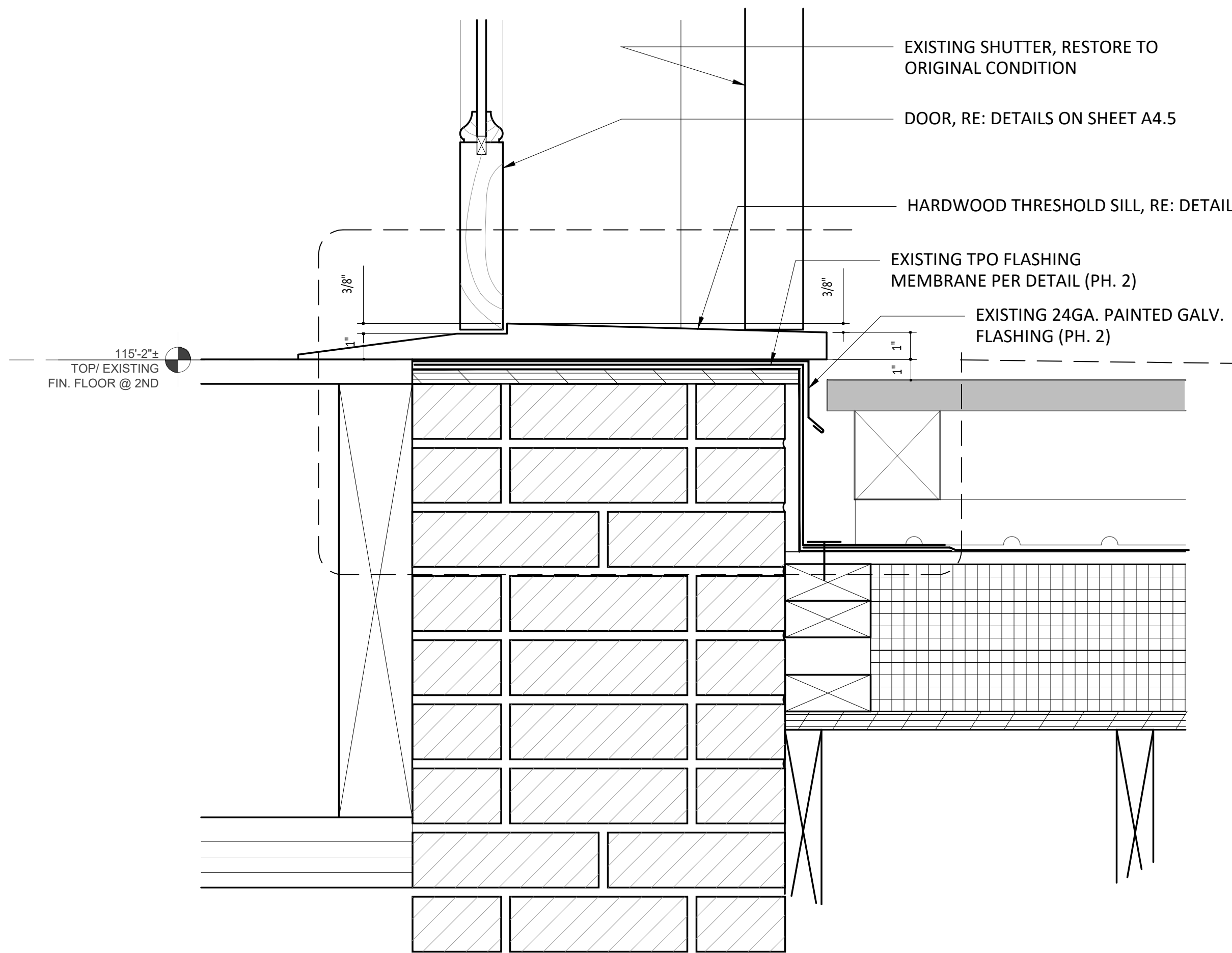
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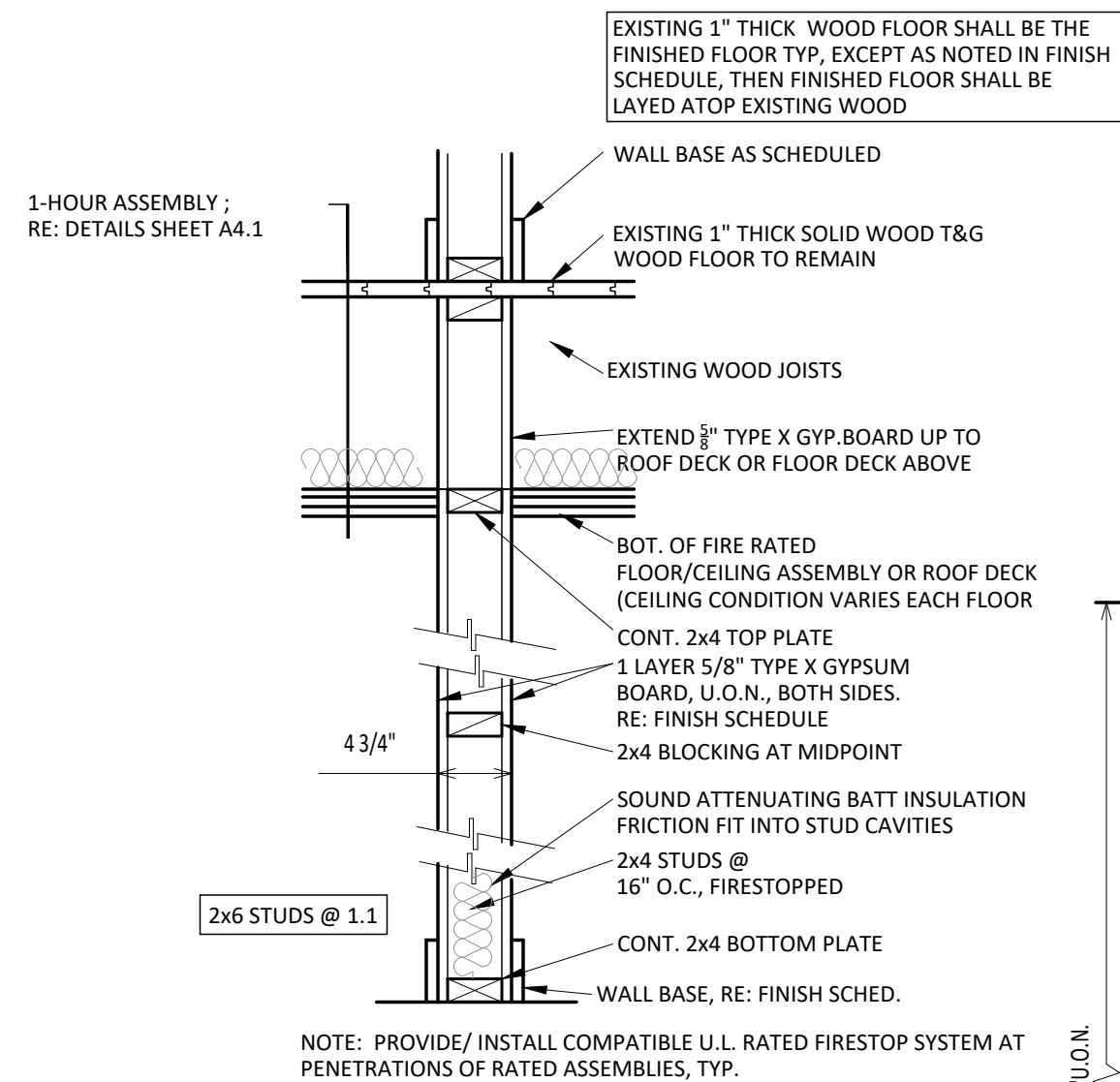
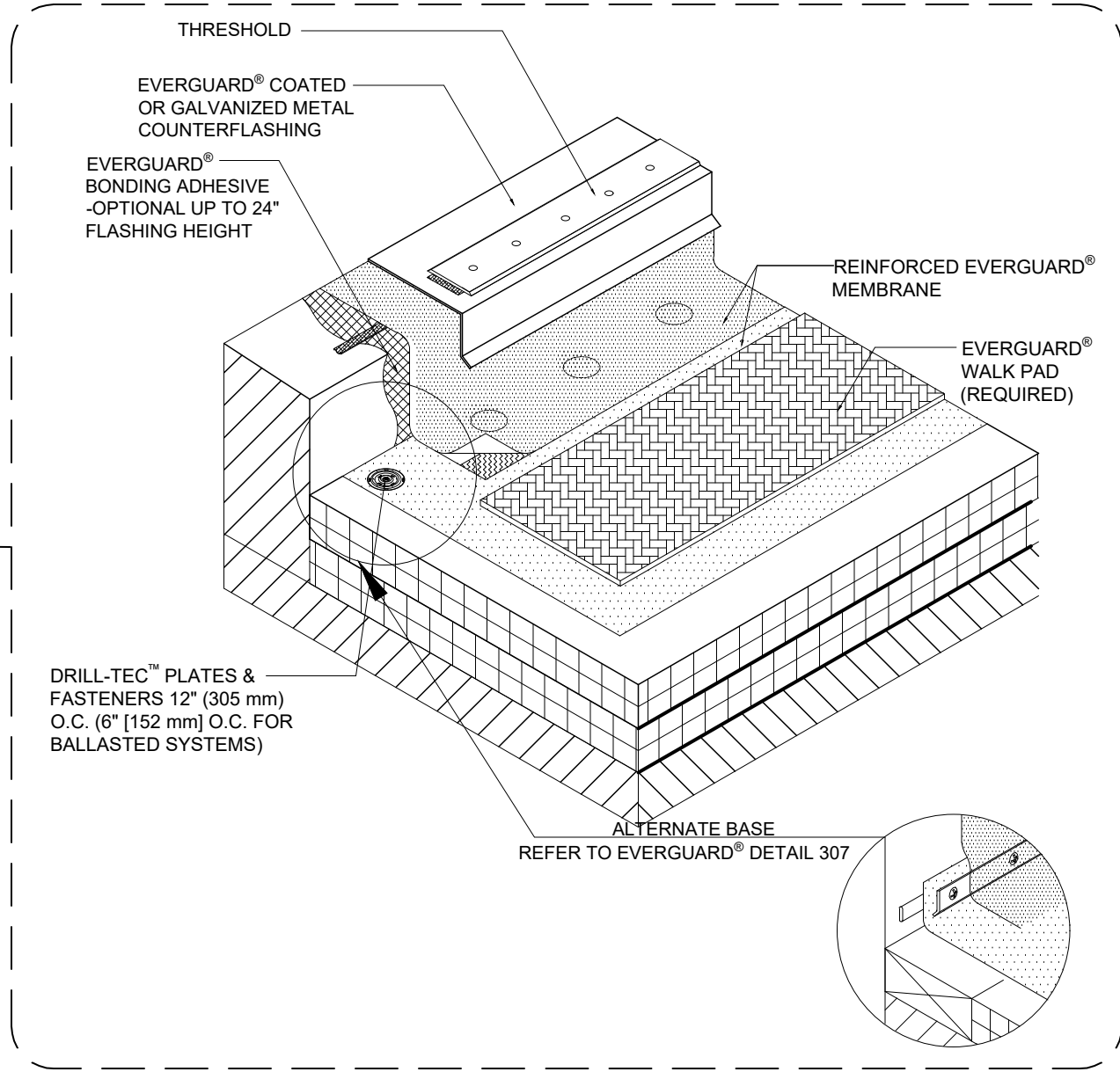
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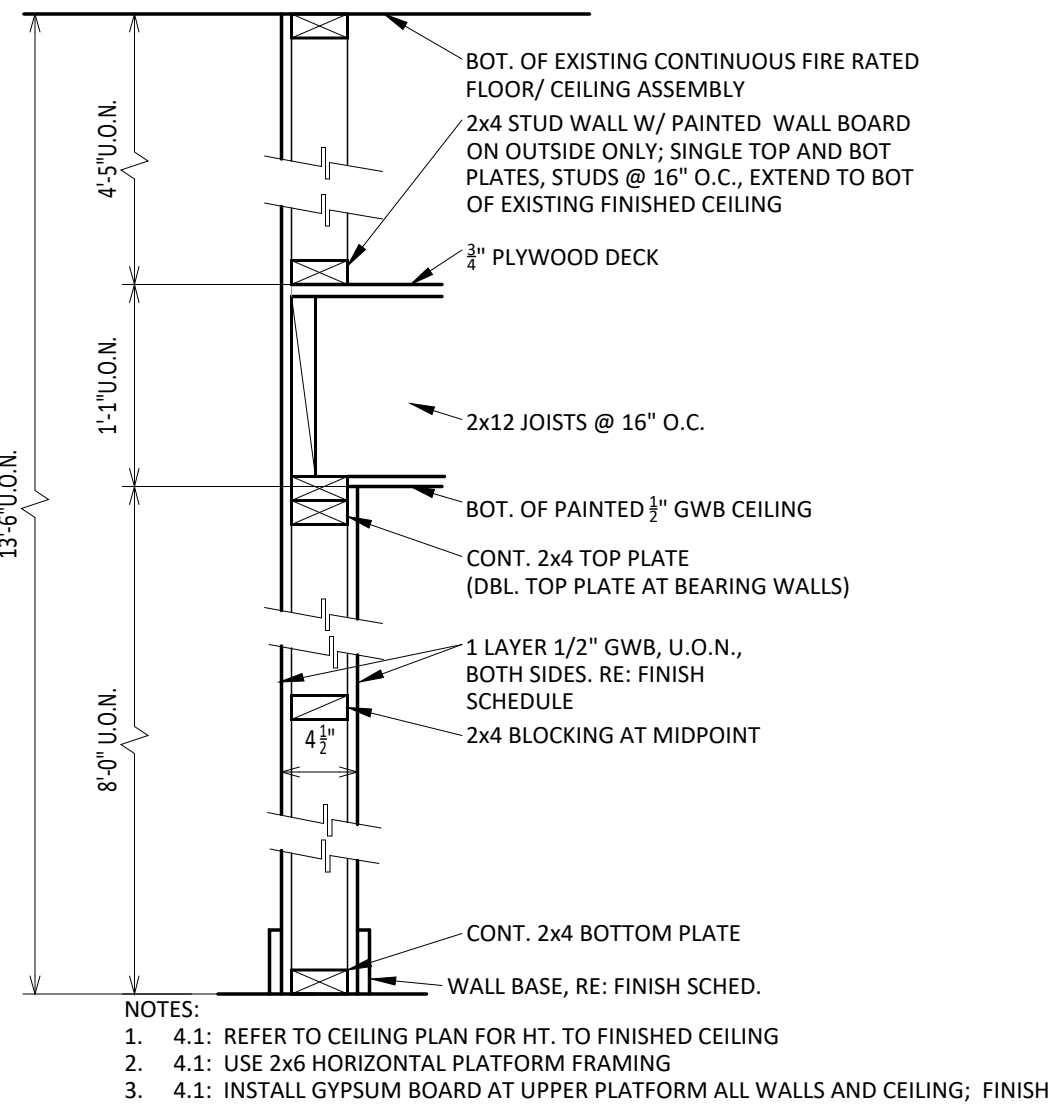
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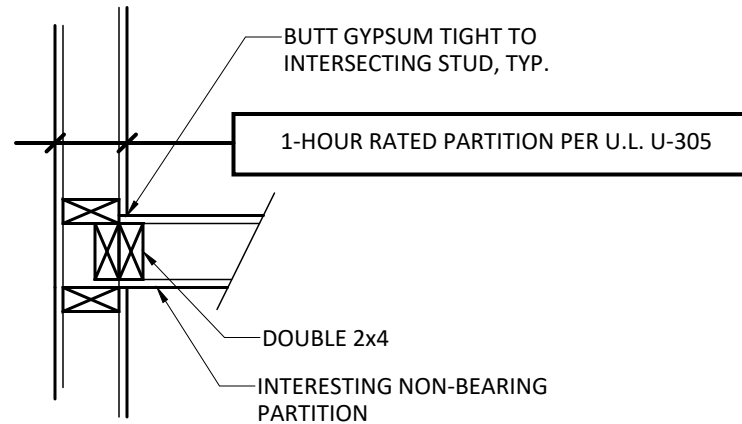
DETAIL OF TYP. ROOF TO SILL FLASHING CONDITION
SC: 3" = 1'-0"



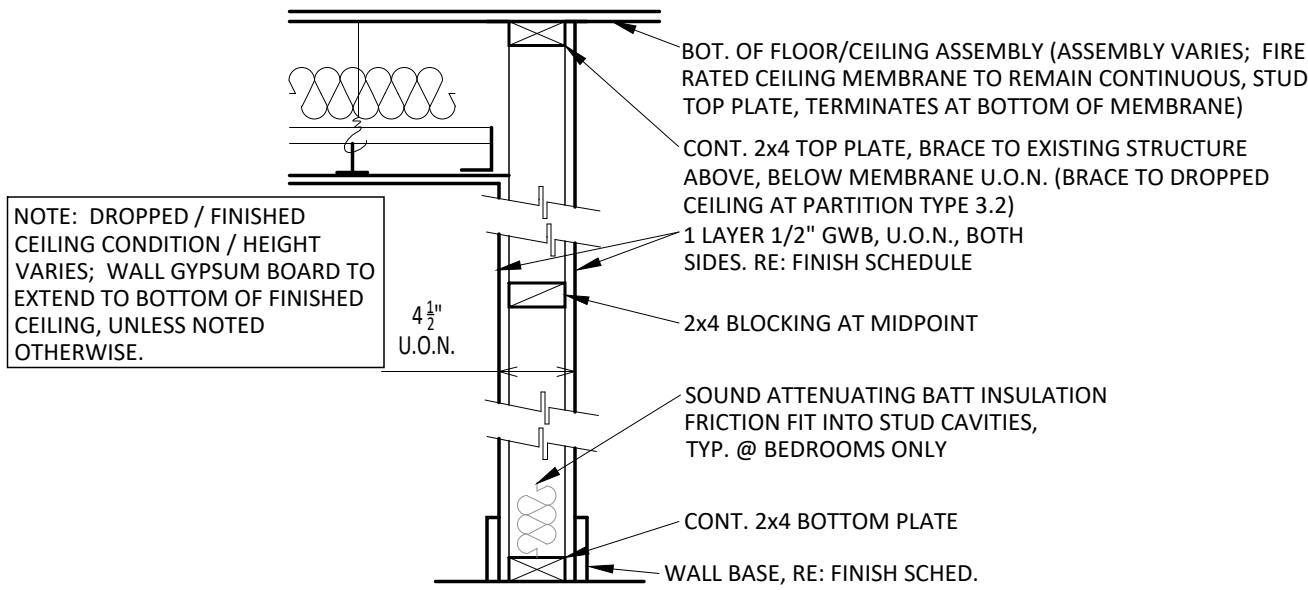
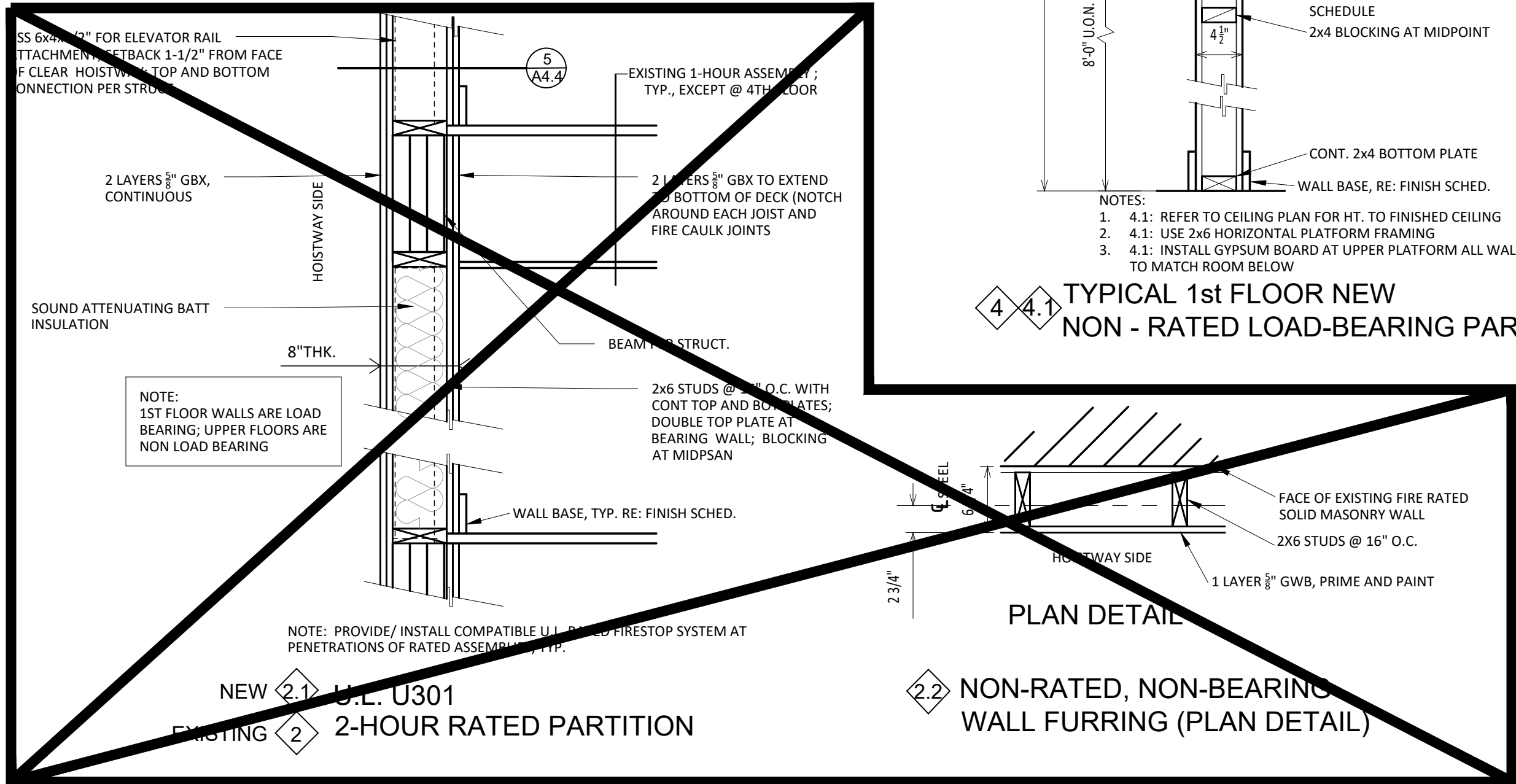
U.L. U305 1-HOUR RATED PARTITION
2x6 STUDS @ 1.1
2x4 STUDS @ 1



TYPICAL 1st FLOOR NEW NON - RATED LOAD-BEARING PARTITION
NOTES:
1. 4.1: REFER TO CEILING PLAN FOR HT. TO FINISHED CEILING
2. 4.1: USE 2x6 HORIZONTAL PLATFORM FRAMING
3. 4.1: INSTALL GYPSUM BOARD AT UPPER PLATFORM ALL WALLS AND CEILING; FINISH TO MATCH ROOM BELOW



TYPICAL INTERSECTION DETAIL @ 1-HOUR FIRE RATED WALLS
SC: 1-1/2" = 1'-0"



- NOTES:
1. USE 2x6 STUDS AT PARTITION TYPE 3.1
2. TERMINATE STUDS AT CEILING FURR DOWN AT PARTITION TYPE 3.2
3. PROVIDE 1/2" CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD AT NON-RATED WALLS/FURRING SCHEDULED TO RECEIVE WALL TILE.
4. USE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT DAMP LOCATIONS.
5. AT THE 4TH FLOOR, WHERE THERE IS EXPOSED ROOF STRUCTURE, TERMINATE WALL AT BOTTOM OF ROOF DECK.

TYPICAL NON - RATED PARTITION

PARTITION DETAILS
SC: 1" = 1'-0"

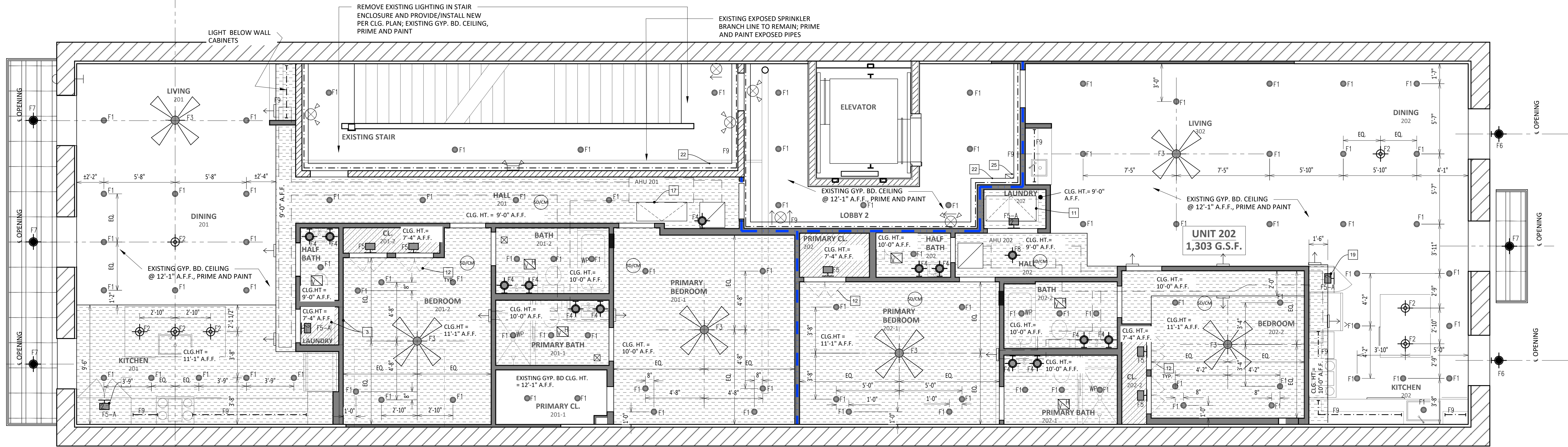


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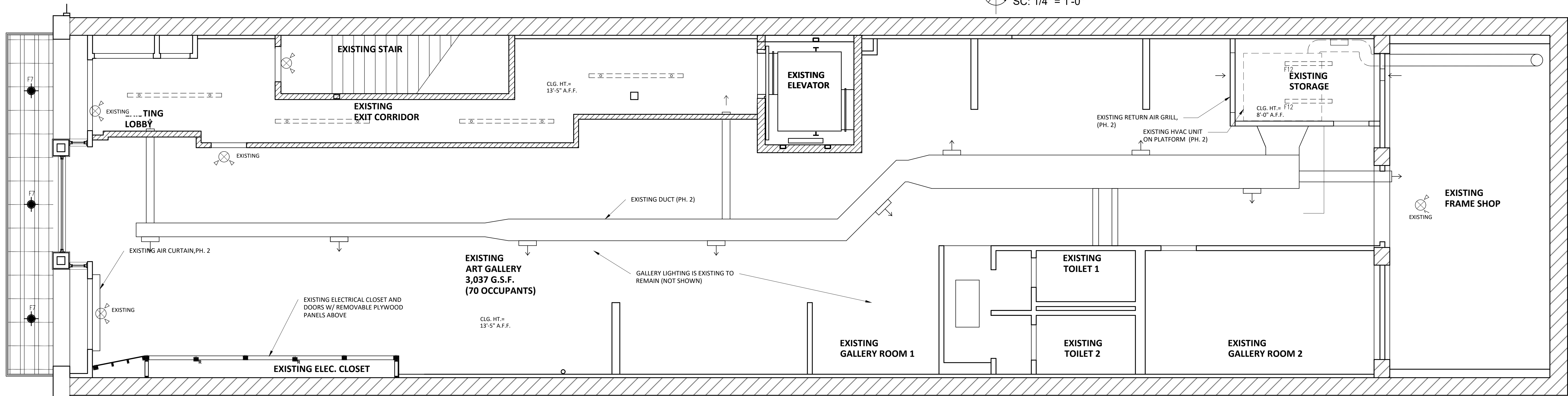
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PROPOSED 2nd FLOOR CEILING PLAN
SC: 1/4" = 1'-0"



PROPOSED 1st FLOOR CEILING PLAN
SC: 1/4" = 1'-0"

CEILING PLAN LEGEND:

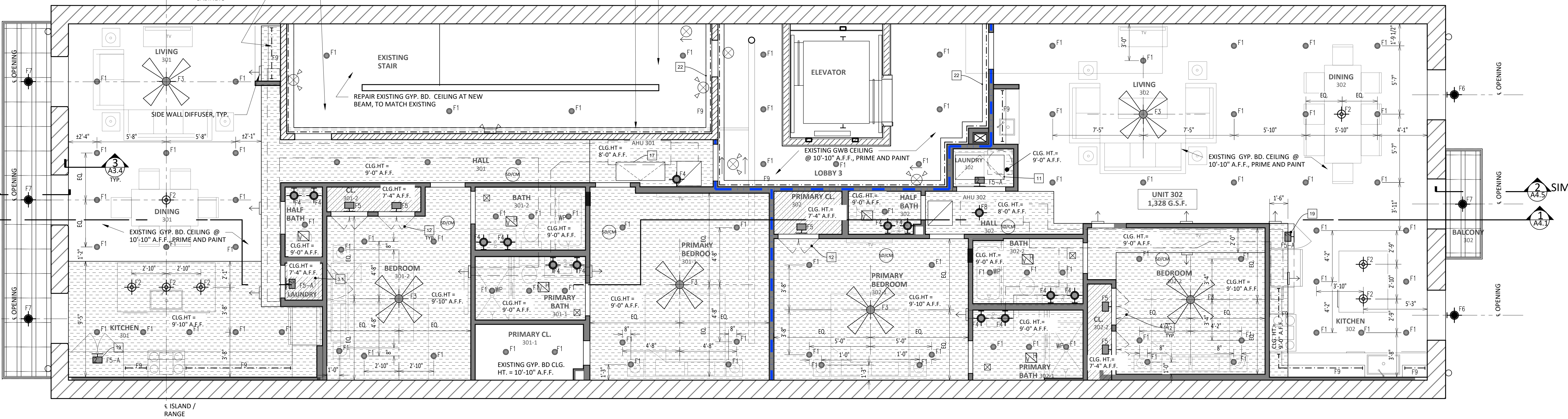
F5 WALL MOUNTED L.E.D. CLOSET FIXTURE F5-WALL MOUNTED DOOR LATCH ACTIVATED L.E.D. CLOSET FIXTURE F1 L.E.D. SURFACE MOUNTED CAN FIXTURE F11 L.E.D. SURFACE MOUNTED FIXTURE WITH EXPOSED HOUSING MOUNTED TO STRUCTURE F9 L.E.D. STRIP (UNDER CABINET OR CEILING COVE)	F4 SURFACE (WALL) MOUNTED L.E.D. FIXTURE SELECTED BY OWNER F2 PENDANT L.E.D. FIXTURE SELECTED BY OWNER F8 SURFACE (CEILING) MOUNTED L.E.D. FIXTURE SELECTED BY OWNER F6 EXTERIOR GRADE REMCRAFT SERIES 200 WALL MOUNTED DOWNLIGHT FIXTURE F7 EXTERIOR GRADE REMCRAFT SERIES 100 CEILING / SOFFIT MOUNTED DOWNLIGHT FIXTURE	ILLUMINATED EXIT SIGNS W/ EMERGENCY LIGHT (RE: PLAN FOR DIRECTIONAL ARROW), NEW TYP., UNLESS EXISTING TO REMAIN PER EXISTING / DEMOLITION PLANS ILLUMINATED EXIT SIGNS (RE: PLAN FOR DIRECTIONAL ARROW), NEW TYP., UNLESS EXISTING TO REMAIN PER EXISTING / DEMOLITION FLOOR PLANS WALL RECESSED EMERGENCY LIGHT WITH BATTERY BACKUP, NEW TYP., UNLESS EXISTING TO REMAIN PER EXISTING / DEMOLITION FLOOR PLANS SIDEWALL DIFFUSER, RE: MECH.	CEILING DIFFUSER, RE: MECH. RETURN AIR GRILL, RE: MECH. COMBINATION HEATER & MECHANICAL EXHAUST VENT DUCTED TO EXTERIOR MECHANICAL EXHAUST VENT DUCTED TO EXTERIOR SMOKE AND CARBON MONOXIDE DETECTOR HARDWIRED TO BUILDING ELECTRIC	RE: FLOOR PLAN / CEILING PLAN KEYNOTES, SHEET A1.1 WP FIXTURE WITH WATER RESISTANT COVER SUITABLE FOR WET LOCATIONS F3 FAN WITH LIGHT F12 EXISTING 4' L. SURFACE MOUNTED L.E.D. STRIP EXISTING 8' L. LINEAR PENDANT L.E.D. STRIP	NEW OR EXISTING GYPSUM BOARD CEILING AT HEIGHT INDICATED, REFER TO FLOOR/ CEILING ASSEMBLY FIRE RATING DETAILS; PRIME AND PAINT. (USE MOISTURE AND MOLD RESISTANT GYP. BOARD AT BATHROOMS) NEW GYPSUM BOARD CEILING FURR DOWN; "USG DRYWALL SUSPENSION SYSTEM" OR EQ.; 3" GYPSUM BOARD CEILINGS AT HEIGHT INDICATED, PRIME AND PAINT.; G.C. OPTION TO USE 2x4 FRAMING TO DROP CEILINGS WITH SPANS LESS THAN 4'. NEW 3" GYPSUM BOARD CEILING ATTACHED DIRECTLY TO BOT. OF NEW 2x6 ATTIC PLATFORM FLOOR FRAMING; PRIME AND PAINT.; FINISHED ATTIC STORAGE ABOVE
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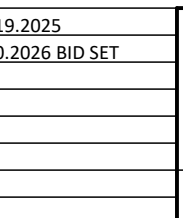
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 **PROPOSED 3rd FLOOR CEILING PLAN**
SC: 1/4" = 1'-0"



DOOR SCHEDULE: 1st FLOOR

MARK	SIZE W x H x THK	DOOR TYPE	FRAME	REFERENCE	REMARKS
	EXISTING DOORS AND HARDWARE TO REMAIN, NOT IN SCOPE				
	3'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	EXISTING 3'-0" x 8'-0" x 1-3/4"	PAINTED HOLLOW METAL	PAINTED HOLLOW METAL		90 MIN. FIRE RATED DOOR AND FRAME
	EXISTING 3'-0" x 8'-0" x 1-3/4"	PAINTED HOLLOW METAL	PAINTED HOLLOW METAL		90 MIN. FIRE RATED DOOR AND FRAME
	EXISTING 3'-0" x 8'-0" x 1-3/4"	PAINTED HOLLOW METAL	PAINTED HOLLOW METAL		60 MIN. FIRE RATED DOOR AND FRAME
	EXISTING PAIR 3'-0" x 7'-0" x 1-3/4"	PAINTED WOOD	PAINTED WOOD		
	EXISTING PAIR 3'-0" x 8'-0" x 1-3/4"	PAINTED WOOD	PAINTED WOOD		

DOOR SCHEDULE: 2nd FLOOR

MARK	SIZE W x H x THK	DOOR TYPE	FRAME	REFERENCE	REMARKS
	EXISTING 3'-0" x 7'-0" x 1-3/4"	PAINTED HOLLOW METAL	PAINTED HOLLOW METAL		90 MIN. FIRE RATED DOOR AND FRAME
	3'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED HOLLOW METAL		60 MIN. FIRE RATED DOOR AND FRAME
	PAIR 1'-9" x 8'-0" x 1-3/4"	PAINTED EXTERIOR WOOD/GLASS FRENCH DOORS + TRANSOM PER DETAILS. EXISTING SHUTTERS TO REMAIN, RESTORE TO ORIGINAL CONDITION	PAINTED WOOD	REAR ELEVATION	VERIFY EXISTING MASONRY OPENING DIMENSIONS; MILLWORKER SHALL PREPARE SHOP DRAWINGS FOR V.C.C. REVIEW PRIOR TO FABRICATION
	2'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 2'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-6" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-10" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-8" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-4" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-0" x 7'-0" x 3/8"	CLEAR TEMPERED GLASS	FRAMELESS		
	PAIR 1'-4" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-6" x 2'-10" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-9" x 8'-0" x 1-3/4"	PAINTED EXTERIOR WOOD/GLASS FRENCH DOORS + TRANSOM PER DETAILS	PAINTED WOOD	FRONT ELEVATION	VERIFY EXISTING MASONRY OPENING DIMENSIONS; MILLWORKER SHALL PREPARE SHOP DRAWINGS FOR V.C.C. REVIEW PRIOR TO FABRICATION
	PAIR 1'-6" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	3'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED HOLLOW METAL		90 MIN. FIRE RATED DOOR AND FRAME
	NOT USED				
	PAIR 1'-8" x 2'-10" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		

DOOR SCHEDULE: 3rd FLOOR

MARK	SIZE W x H x THK	DOOR TYPE	FRAME	REFERENCE	REMARKS
	EXISTING 3'-0" x 7'-0" x 1-3/4"	PAINTED HOLLOW METAL	PAINTED HOLLOW METAL		90 MIN. FIRE RATED DOOR AND FRAME
	3'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED HOLLOW METAL		60 MIN. FIRE RATED DOOR AND FRAME
	PAIR 1'-9" x 7'-9" x 1-3/4"	PAINTED EXTERIOR WOOD/GLASS FRENCH DOORS + TRANSOM PER DETAILS	PAINTED WOOD	RE: REAR ELEVATION	VERIFY EXISTING MASONRY OPENING DIMENSIONS; MILLWORKER SHALL PREPARE SHOP DRAWINGS FOR V.C.C. REVIEW PRIOR TO FABRICATION
	2'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 2'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-6" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-10" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-8" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-4" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-0" x 7'-0" x 3/8"	CLEAR TEMPERED GLASS	FRAMELESS		
	PAIR 1'-4" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-6" x 1'-8" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-9" x 8'-0" x 1-3/4"	PAINTED EXTERIOR WOOD/GLASS FRENCH DOORS + TRANSOM PER DETAILS	PAINTED WOOD	FRONT ELEVATION	VERIFY EXISTING MASONRY OPENING DIMENSIONS; MILLWORKER SHALL PREPARE SHOP DRAWINGS FOR V.C.C. REVIEW PRIOR TO FABRICATION
	PAIR 1'-6" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	3'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED HOLLOW METAL		90 MIN. FIRE RATED DOOR AND FRAME
	PAIR 1'-8" x 1'-8" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		

DOOR SCHEDULE: 4th FLOOR

MARK	SIZE W x H x THK	DOOR TYPE	FRAME	REFERENCE	REMARKS
	EXISTING 3'-0" x 7'-0" x 1-3/4"	PAINTED HOLLOW METAL	PAINTED HOLLOW METAL		90 MIN. FIRE RATED DOOR AND FRAME
	3'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED HOLLOW METAL		60 MIN. FIRE RATED DOOR AND FRAME
	PAIR 1'-9" x 7'-9" x 1-3/4"	PAINTED EXTERIOR WOOD/GLASS FRENCH DOORS + TRANSOM PER DETAILS	PAINTED WOOD	RE: REAR ELEVATION	VERIFY EXISTING MASONRY OPENING DIMENSIONS; MILLWORKER SHALL PREPARE SHOP DRAWINGS FOR V.C.C. REVIEW PRIOR TO FABRICATION
	2'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 2'-0" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-6" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-10" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-8" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-4" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	2'-0" x 7'-0" x 3/8"	CLEAR TEMPERED GLASS	FRAMELESS		
	2'-0" x 5'-0" x 1-3/4"	PAINTED SOLID CORE WOOD	PAINTED WOOD		
	NOT USED				
	PAIR 1'-9" x 8'-0" x 1-3/4"	PAINTED EXTERIOR WOOD/GLASS FRENCH DOORS + TRANSOM PER DETAILS	PAINTED WOOD	FRONT ELEVATION	VERIFY EXISTING MASONRY OPENING DIMENSIONS; MILLWORKER SHALL PREPARE SHOP DRAWINGS FOR V.C.C. REVIEW PRIOR TO FABRICATION
	PAIR 1'-8" x 3'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-4" x 3'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-8" x 2'-6" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-6" x 2'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		
	PAIR 1'-6" x 7'-0" x 1-3/4"	PAINTED FLUSH SOLID CORE WOOD	PAINTED WOOD		

APPLIANCE SCHEDULE

THE FOLLOWING APPLIANCES SHALL BE PROVIDED AND INSTALLED IN ALL RESIDENTIAL UNITS:

- **DISHWASHER:** GE PROFILE ULTRAFRESH 24-IN TOP CONTROL BUILT-IN DISHWASHER WITH THIRD RACK, STAINLESS STEEL, MODEL #PDT755SVVFS
- **REFRIGERATOR / FREEZER:** GE PROFILE COUNTER-DEPTH 22.4-CU FT 4 -DOOR SMART COMPATIBLE FRENCH DOOR REFRIGERATOR WITH ICE MAKER WITH WATER AND ICE DISPENSER AND DOOR WITHIN DOOR, STAINLESS STEEL, MODEL #FXD22BYPPFS
- **RANGE:** FRIGIDAIRE - PROFESSIONAL 4.4 CU. FT. FREESTANDING ELECTRIC INDUCTION CONVECTION RANGE WITH STEAM-CLEANING - STAINLESS STEEL, MODEL # PCFI3670AF
- **HOOD:** COSMO 36 INCH DUCTLESS 380-CFM STAINLESS STEEL INSERT UNDER CABINET RANGE HOOD WITH SURROUND TO MATCH CABINTRY
- **MICROWAVE:** GE PROFILE 23.9-IN 1.2-CU FT 1000 -WATT MICROWAVE DRAWER, STAINLESS STEEL, MODEL #PWL1126SWSS
- **GARBAGE DISPOSAL:** INSINKERATOR POWER 15SS POWER SERIES CONTINUOUS FEED 3/4-HP SEPTIC SAFE NON-CORDED GARBAGE DISPOSAL, MODEL #POWER 15SS
- **WASHER / DRYER:** GE STACKED LAUNDRY CENTER WITH 3.9-CU FT TOP LOAD WASHER AND ELECTRIC 5.9-CU FT DRYER, MODEL #GUD27EESNWW
- **WINE COOLER:** FRIGIDAIRE - GALLERY 5.3 CU. FT. BUILT-IN BEVERAGE CENTER - STAINLESS STEEL MODEL: FGBCS334VS

HARDWARE SCHEDULE

MARK	HARDWARE SET
	EXISTING EXIT LEVER HANDLE LATCHSET WITH CLOSER
	KEYED ENTRY LEVER HANDLE LATCHSET WITH INTERCONNECTED DEADBOLT THAT OPERATES BOTH THE DEADBOLT AND THE LATCH SIMULTANEOUSLY; CLOSER; DOOR VIEWER @ 60" A.F.F.; 4.5"x4.5" MORTISED HINGES; DOOR STOP
	KEYED ENTRY LEVER HANDLE LATCHSET; HARDWOOD THRESHOLD; HINGES; FLUSH BOLT AT INACTIVE LEAF; SLIDE BOLT LOCK AT INTERIOR.
	PASSAGE LEVER HANDLE LATCHSET; 4.5"x4.5" MORTISED HINGES; DOOR STOP
	PAIR DUMMY LEVERS; BALL CATCH LATCH; 4.5"x4.5" MORTISED HINGES AT EACH LEAF; DOOR STOPS
	PRIVACY LEVER HANDLE LATCHSET; 4.5"x4.5" MORTISED HINGES; DOOR STOP
	"C" PULLS BOTH ON OUTSIDE W/ FINGER PULL INSIDE; TOP MOUNTED STAINLESS STEEL ROLLERS / BAR TRACK
	PAIR DUMMY LEVERS; SLIDEBOLT LOCK ON INTERIOR; BALL CATCH LATCH; 4.5"x4.5" MORTISED HINGES AT EACH LEAF; DOOR STOPS
	"C" PULLS; HINGES; SLIDE BOLT LATCH
	EXISTING HARDWARE TO REMAIN
	EXIT LEVER HANDLE LATCHSET WITH CLOSER; REMOVE DEADBOLT AND REPLACE WITH INTERCONNECTED DEADBOLT THAT OPERATES BOTH THE DEADBOLT AND THE LATCH SIMULTANEOUSLY.
	EXIT LEVER HANDLE LATCHSET WITH CLOSER, KEYED FROM THE OUTSIDE, ALWAYS UNLOCKED FROM THE EGRESS SIDE (STOREROOM TYPE LATCHSET).

- NOTES:
- HARDWARE FINISH SHALL BE SELECTED BY OWNER OR ARCHITECT DURING SHOP DRAWING SUBMITTAL PHASE.
 - STYLE OF LEVERS OR KNOBS SHALL BE SELECTED BY OWNER OR ARCHITECT DURING SHOP DRAWING SUBMITTAL PHASE; KNOBS MAY BE SUBSTITUTED FOR LEVERS AT DOORS INSIDE APARTMENT UNITS EXCEPT AT UNIT ENTRY DOORS.
 - PROVIDE KEYPAD ACCESS CONTROL DEVICES AT THE EXTERIOR ENTRY DOOR AND 1ST FLOOR STAIR DOOR. POWER PROVIDED BY G.C. AND DEVICES PROVIDED/INSTALLED BY OWNER'S SECURITY VENDOR. EXTERIOR DOOR AND STAIR DOORS SHALL BE KEYED ALIKE. G.C. SHALL COORDINATE WITH OWNER'S SECURITY VENDOR.

FINISHES

THE FOLLOWING FINISHES SHALL BE PROVIDED AND INSTALLED IN ALL RESIDENTIAL UNITS AND COMMON AREAS:

- RESIDENTIAL AREAS:**
- LIVING ROOMS / DINING ROOMS, KITCHENS, BEDROOMS, HALLS:**
- FLOORS: EXISTING STAINED T&G SOLID WOOD PLANKS TO BE REFINISHED; NEW TO MATCH EXISTING AS NECESSARY
- WALL BASE: 10"H. PAINTED WOOD TWO-PIECE
- WALLS: PAINT GYPSUM BOARD, 2 COATS EGGSHELL LATEX OVER PRIMER; EXPOSED BRICK WHERE NOTED
- CEILINGS: PAINT GYPSUM BOARD, 2 COATS FLAT LATEX OVER PRIMER; EXPOSED ROOF STRUCTURE WHERE NOTED
- CLOSETS:**
- FLOORS: EXISTING STAINED T&G SOLID WOOD PLANKS TO BE REFINISHED
- WALL BASE: 6" PAINTED WOOD.
- WALLS: PAINT GYPSUM BOARD, 2 COATS EGGSHELL LATEX OVER PRIMER; EXPOSED BRICK WHERE NOTED.
- CEILINGS: PAINT GYPSUM BOARD, 2 COATS FLAT LATEX OVER PRIMER; EXPOSED ROOF STRUCTURE WHERE NOTED.
- BATHS AND HALF BATHS:**
- FLOORS: 12" x 24" PORCELAIN CERAMIC TILE, THINSET
- WALL BASE: 6" x 24" PORCELAIN CERAMIC TILE
- WALLS: MOISTURE AND MOLD RESISTANT GYPSUM BOARD, PAINT 2 COATS EGGSHELL LATEX OVER PRIMER
- CEILINGS: MOISTURE AND MOLD RESISTANT GYPSUM BOARD, PAINT 2 COATS FLAT LATEX OVER PRIMER
- SHOWER FLOORS: 2x2 MATTE CERAMIC MOSAIC FLOOR TILE SET IN MUDBED OVER WATERPROOF PAN LINER MEMBRANE THAT TURNS UP WALL 8" MIN..
- SHOWER WALLS AND TUB SURROUNDS: 12" x 24" PORCELAIN CERAMIC WALL TILE TO CEILING, OVER CEMENTITIOUS BACKER BOARD, CLEAR TEMPERED GLASS ENCLOSURE / DOOR TO 7' A.F.F.
- KITCHEN CABINETS:**
- STANDARD SIZE (3" INCREMENTS), SOLID WOOD, SHAKER STYLE, CABINET AND DRAWER FRONTS AND PANTRY CABINET DOORS FRONTS. MELAMINE INTERIORS WITH ADJUSTABLE SHELVING. CABINETS COLOR SELECTED BY OWNER FROM MANUFACTURER'S STANDARD COLOR RANGE

- KITCHEN COUNTERTOPS:**
- QUARTZ, COLOR / PATTERN SELECTED BY OWNER FROM MANU. FULL RANGE
- MOLDING:** PROVIDE ALLOWANCE FOR PAINTED WOOD 2-PIECE 7" CROWN MOLDING, PROFILE SELECTED BY OWNER @ LIVING/DINING, KITCHENS AND HALLS, 2ND AND 3RD FLOORS

- COMMON AREAS:**
- FIRST FLOOR COMMON AREA (LOBBY AND EXIT CORRIDOR):**
- FLOORS: EXISTING EPOXY TO REMAIN; EXISTING BRICK TO REMAIN AT RAMP.
- WALL BASE: 6" PAINTED WOOD
- WALLS: PAINT GYPSUM BOARD, 2 COATS EGGSHELL LATEX OVER PRIMER; EXPOSED BRICK WHERE NOTED.
- CEILINGS: PAINT GYPSUM BOARD, 2 COATS FLAT LATEX OVER PRIMER

- UPPER FLOOR ELEVATOR LOBBIES AND STAIR LOBBIES:**
- FLOORS: EXISTING STAINED T&G WOOD PLANKS TO BE REFINISHED
- WALL BASE: 6" PAINTED WOOD.
- WALLS: PAINT GYPSUM BOARD, 2 COATS EGGSHELL LATEX OVER PRIMER; EXPOSED BRICK WHERE NOTED.
- CEILINGS: PAINT GYPSUM BOARD, 2 COATS FLAT LATEX OVER PRIMER

- EXISTING STAIR:**
- FLOORS: EXISTING STAINED T&G WOOD PLANKS TO BE REFINISHED; TREADS AND RISERS TO REMAIN
- WALL BASE: EXISTING TO REMAIN, PRIME AND PAINT 2 COATS
- WALLS: EXISTING TO REMAIN, PRIME AND PAINT 2 COATS
- CEILINGS: EXISTING TO REMAIN, PRIME AND PAINT 2 COATS

NOTE: PAINT COLORS & TILE COLORS/PATTERNS SHALL BE SELECTED BY OWNER FROM MANUF. FULL RANGE

NOTE: PAINT DOORS AND TRIM PER OWNER COLOR SELECTIONS

NOTE: PROVIDE HEAVY DUTY PROTECTION BOARD "RAM BOARD" THOROUGHLY SEALED, AT ALL EXISTING FINISHED FLOORS THAT ARE EXISTING TO REMAIN.



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