

CITY PLANNING COMMISSION  
CITY OF NEW ORLEANS

LATOYA CANTRELL  
MAYOR

ROBERT D. RIVERS  
EXECUTIVE DIRECTOR

LARRY W. MASSEY, JR.  
DEPUTY DIRECTOR

**City Planning Commission**  
**Staff Report**  
**Tuesday, December 9, 2025**

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**Zoning Docket 066-25**

**Prepared by:** Bria Dixon

**Date:** December 11, 2025

**Deadline for CPC action:** 02/07/2026

**CC Deadline:** 60 Days From Receipt

**City Council District:** B - Harris

**Applicant:** Dat Dogs Enterprises, LLC

**Request:** Conditional use to permit a standard restaurant over 5,000 square feet in floor area in an HU-MU Historic Urban Neighborhood Mixed-Use District

**Property description:** Square 579, Lot A, in the Sixth Municipal District, bounded by Freret Street, Soniat Street, La Salle Street, and Robert Street

**Municipal address(es):** 5030 Freret Steet and 2239 Soniat Street

Description
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Zoning Docket 066/25 is a request for a conditional use to permit a standard restaurant with over 5,000 square feet in HU-MU Historic Urban Neighborhood Mixed-Use District. Located on the corner of Freret Steet and Soniat Street, Lot A totals approximately 6,870 square feet of lot area and is currently developed with a standard restaurant known as Dat Dog. The applicant proposes to expand the site's interior space to occupy a greater portion of the parcel. Currently proposed plans show no off-street parking with a building that meets all property lines. Additions to the site's existing footprint include the removal of outdoor seating in lieu of a renovated kitchen, bar, office, covered storage and additional indoor seating nearest Freret Street, totaling approximately 1,730 square feet. In total, the restaurant, which measures approximately 4,896 square feet, will be expanded to measure approximately 6,806 square feet in total floor area where the interior restaurant space will increase from 2,365 square feet to 4,095 square feet. Conditional use approval is required due to the commercial property exceeding 5,000 square feet in the HU-MU Historic Urban Neighborhood Mixed-Use District.

Adjacent to other restaurants, bars, and neighborhood residences, the subject site is located within a narrow HU-MU Historic Urban Neighborhood Mixed-Use District that runs an eight square stretch of

Freret Street. A standard restaurant is allowed by right in the HU-MU Historic Urban Neighborhood Mixed-Use District base zoning; however, larger commercial uses over 5,000 square feet require conditional use approval. The site will continue to be owned and operated by Dat Dog as a standard restaurant.

**Reason for Commission Review**

Per **Article 12, Section 12.2.A (Table 12-1: Permitted and Conditional Uses)**, standard restaurants are a permitted use in the HU-MU Historic Urban Neighborhood Mixed-Use District. However, the restaurant requires conditional use approval subject to **Article 12, Section 12.2.B.1**, which requires conditional use approval for commercial uses over 5,000 square feet in floor area. The City Planning Commission is required to make a recommendation on all conditional use applications prior to City Council action, in accordance with **Article 4, Section 4.3.D.3 – Action by the City Planning Commission** of the Comprehensive Zoning Ordinance.

**Analysis**

<b>Bulk and Yard Requirements</b>			
	<b>Requirement</b>	<b>Provided</b>	<b>Notes</b>
<b>Lot Area</b>	None	6,870 sf	Compliant
<b>Floor Area</b>	≤ 5,000 sf	6,806 sf	-
<b>Building Height</b>	40 ft or 3 stories	20 ft	Compliant
<b>Permeable Open Space</b>	10% lot area	2%	Non-Compliant
<b>Front Yard</b>	0 ft to 10 ft	0 ft	Compliant
<b>Corner Side Yard</b>	0 ft to 10 ft	0ft to 4 ft	Compliant
<b>Interior Side Yard</b>	None	None	Compliant
<b>Rear Yard</b>	None	None	Compliant

While the site is virtually impervious, the limited scope of the addition does not appear to trigger compliance with the permeable open space requirement as the proposal is presumably not a substantial renovation.

<b>Building Design Standards</b>	
<b>Requirement</b>	<b>Notes</b>
All buildings shall provide a clearly identifiable entry from the public sidewalk at the front (primary street) elevation.	Compliant
Structures on a corner lot shall be built to the corner.	Compliant. The proposal reflects the infill of an existing standard restaurant.
Where reuse of an existing gas station is proposed, parking is permitted in the front of the structure, subject to the landscape standards of Article 23.7 provided that a designated pedestrian access way between the sidewalk and main entrance is provided. This access way shall be separated from parking areas by a landscaped area no less than five (5) feet wide.	N/A (No parking is proposed)
The ground floor of newly constructed commercial buildings shall contain a minimum transparency of fifty	Compliant

percent (50%) on the primary street and windows shall be constructed of transparent glass. Opaque, highly tinted, or reflective glass is prohibited. Transparency into the building shall be maintained. Any window signs shall consist of individual letters and numerals without the use of any background.	
For new construction, ADA accessible ramps and lifts shall compliment the building and be visually unobtrusive, preferably through internalized ramps or sloped walkways.	N/A (Single level development)
The first floor of commercial buildings shall be designed with a minimum ceiling height of twelve (12) feet.	Compliant
Security bars, if installed, shall be on the inside of windows. Roll-up or accordion security grilles are permitted on the ground floor when constructed of a see-through, non-solid material. The Casing shall be painted to match the building and shall not damage or obscure architectural detailing.	N/A
The following restrictions apply to building materials:  i. The following materials are prohibited as the predominant surface finish material on exterior elevations visible from the public right-of-way. However, such materials may be used as part of decorative or detail elements, or as part of the exterior construction, such as a foundation course, that is not used as a predominant surface finish material.  (1) Exterior insulating finish systems (EIFS, "Dryvit") (2) Stuccato Board (3) Vinyl	Compliant
Windows and doors shall have raised elements to create shadow and articulation. In addition, three-dimensional elements, such as balconies and bay windows, shall be incorporated to provide dimensional elements on a façade. Windows shall be set back into or projected out from the façade to provide façade depth and shadow and a consistent style.	Compliant
Facades shall be designed to be viewed from multiple directions with consistent materials and treatments that wraps around all facades. There shall be a unifying architectural theme for an entire multi-family or townhouse development, utilizing a common vocabulary of architectural forms, elements, materials, and colors around the entire structure.	Compliant

<b>Use Standards for Standard Restaurant</b>	
<b>Requirement</b>	<b>Notes</b>
<p>A restaurant shall submit a security and operation plan, to be reviewed by the Director of Safety and Permits, and all other relevant City agencies, with the following added:</p> <p>a. For restaurants with an outdoor component, the plan shall include provisions regarding how the facility will control the sales of alcoholic beverages to ensure consumption on-premises.</p> <p>b. A security and operation plan. The security plan shall include the provision of exterior security cameras.</p>	<p>Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.</p>
<p>A restaurant shall submit a noise abatement plan, to be reviewed by the Director of Safety and Permits, and all other relevant City agencies.</p>	<p>Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.</p>
<p>If a restaurant contains a brewing, distilling or winemaking facility on-site, a floor plan indicating the area reserved for brewing, distilling or winemaking and a description of the facility and capacity. On-site micro-brewing, micro-distillery and winery facilities are only allowed in standard restaurants.</p>	<p>N/A</p>
<p>Standard restaurants shall submit a summary of the number and location of places of worship, educational facilities, and parks and playgrounds within three-hundred (300) feet of the proposed location.</p>	<p>Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.</p>
<p>Unless otherwise permitted by law, retail sales of packaged alcoholic beverages for consumption off the premises are prohibited.</p>	<p>Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.</p>
<p>All restaurants that serve alcoholic beverages are limited to the following hours of operation (see also Table 20-2: Restaurant Hours of Operation Regulations). No new customers are permitted after the closing hour, and the restaurant shall be completely shut down, including no staff present on the premises, within two (2) hours of the closing time. Opening hour is for first opening of business to customers. These limitations do not apply to restaurants that serve alcoholic beverages in the Vieux Carré Districts, the CBD Districts, and in the C-1, C-2, C-3, LI, HI, MI, BIP, MU-2, EC, MC, and LS Districts.</p> <p>a. Sunday thru Wednesday: from 6:00 am to 10:00 pm.</p> <p>b. Thursday thru Saturday: from 6:00 am to 12:00 am (midnight).</p>	<p>Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.</p>

<b>Use Standards for Standard Restaurant</b>	
c. Other hours may be approved through the conditional use process.	
Hours of operation shall be posted on or near the restaurant entrance visible to the public.	Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.
Live entertainment-secondary use and outdoor live entertainment-secondary use are separate uses and subject to separate approval. Additionally, the restaurant must remain open while any live entertainment takes place.	Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.
If the restaurant use plans an increase in intensity, such as an expansion of floor area or increase in permitted occupancy, the security and operation plans shall be updated and resubmitted for approval. The revised security and operation plan shall be approved prior to the issuance of any permits.	Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.
Security and operation plans may be revised by the property owner or person authorized in writing by the owner. New plans shall be resubmitted for approval.	Standard shall be met through the inclusion of an operational proviso subject to approval by Department of Safety and Permits.
Restaurants with drive-through facilities are subject to the standards of this Article. Standard restaurants with live entertainment – secondary uses are also subject to the standards of this Article. Drive-through facilities and live entertainment – secondary uses are considered separate principal uses and subject to separate approval.	N/A
A holding bar is permitted only for a standard restaurant. The holding bar is an accessory use to the principal use of a standard restaurant. The holding bar is an area of a restaurant where alcoholic beverages are prepared and served at the bar. Holding bars are subject to the following:  a. A holding bar cannot exceed fifteen percent (15%) of the floor area of the public seating area of the restaurant, up to a maximum area of three-hundred (300) square feet, including the service area behind the bar. The calculation of the total public seating area shall include the holding bar area in the calculation. If a portion of the holding bar is used to serve non-alcoholic beverages, such as coffee, that area is included as part of the holding bar area. The holding bar area shall be calculated from the back wall to the front of the bar. . (See Figure 20-1:	Standard shall be met through the inclusion of a proviso subject to approval by Department of Safety and Permits.

Use Standards for Standard Restaurant	
Restaurant Holding Bar.) If the holding bar is not set against a wall, the area shall be calculated from one bar front to another.	

- In accordance with **Article 20, Section 20.3.ZZ** of the Comprehensive Zoning Ordinance, the applicant shall meet the following standards:
  - a. A restaurant shall submit a security and operation plan, to be reviewed by the Director of Safety and Permits, and all other relevant City agencies.
  - b. A restaurant shall submit a noise abatement plan, to be reviewed by the Director of Safety and Permits, and all other relevant City agencies.
  - c. A restaurant shall submit a summary of the number and location of places of worship, educational facilities, and parks and playgrounds within three-hundred (300) feet of the proposed location.
  - d. The plans submitted to the City Planning Commission for final approval shall indicate a holding bar not to exceed fifteen percent (15%) of the floor area of the public seating area of the restaurant, up to a maximum area of three-hundred (300) square feet, including the service area behind the bar. The calculation of the total public seating area shall include the holding bar area in the calculation. If a portion of the holding bar is used to serve non-alcoholic beverages, such as coffee, that area is included as part of the holding bar area. The holding bar area shall be calculated from the back wall to the front of the bar. If the holding bar is not set against a wall, the area shall be calculated from one bar front to another.
  - e. The holding bar should be only open to the public while food is being served in the restaurant dining room.

Parking Requirements				
	Requirement	Exceptions	Total Required	Provided
Vehicle Parking	1per 500sf GFA	<b>Sec. 22.5.A.6:</b> Square Footage  <b>Sec. 22.5.B.1:</b> On-Street Spaces Counted	0	0
Bicycle Parking	1 per 2,500sf GFA	None	3	0
Loading	None	<b>Sec. 22.7.C:</b> The Historic Core and Historic Urban Neighborhoods are exempt from all off- street loading requirements.	0	0

- Plans submitted to the City Planning Commission for final approval shall indicate the installation of at least 3 short-term bicycle parking spaces, as set forth in **Article 22, Section 22.4.A (Table 22-1)** and **Article 22, Section 22.6** of the Comprehensive Zoning Ordinance. The design of bicycle parking spaces shall comply with the requirements as set forth in **Article 22, Section 22.9** of the Comprehensive Zoning Ordinance. When submitting plans to the City Planning Commission for

final approval, the developer shall provide documentation of all required approvals by the Department of Public Works for any bicycle spaces located in the public right-of-way.

Landscape Requirements		
	Requirement	Notes
Building foundation landscape	Does not apply	Site conditions are grandfathered.
Front yard landscape	Does not apply	Site conditions are grandfathered.
Parking lot landscape – Perimeter landscape	Does not apply	Site conditions are grandfathered.
Parking lot landscape – Interior landscape	Does not apply	Site conditions are grandfathered.
Parking lot landscape – Buffer yard	Does not apply	Site conditions are grandfathered.
Parkway Trees	Does not apply	Site conditions are grandfathered.

**Anticipated impact on surrounding land uses**

The proposed use is compatible with the mixed-use character of the surrounding area, in that the standard restaurant is pre-existing and has been operational for over ten years along a major commercial corridor with similar uses. The applicant’s proposal to infill a portion of the site’s outdoor seating with additional indoor seating is not expected or anticipated to disrupt or significantly alter the character of the neighborhood, and the proposed renovations should have little impact overall.

**Evaluation of approval standards**

The City Planning Commission recommendation and the City Council decision on applications for a conditional use shall, on the basis of all information submitted, evaluate the impact of the conditional use on and the compatibility of the use with surrounding properties and neighborhoods to ensure the appropriateness of the use at a particular location. The Commission and Council are required to specifically consider the extent to which the proposed use meets the approval standards contained in **Article 4, Section 4.3.F Approval Standards** of the Comprehensive Zoning Ordinance. In this section, the staff evaluates the application using those standards.

***The proposed use at the specified location is consistent with the policies embodied in the adopted Master Plan.***

This standard is met. The Home Rule Charter of the City of New Orleans requires all land use actions to be consistent with the Master Plan. A land use action is consistent with the Plan for the 21<sup>st</sup> Century, commonly known as the Master Plan, if it furthers, or at least does not interfere with, the goals, policies, and is compatible with the proposed future uses, densities, and intensities designated in the Land Use Element of the Plan. “Chapter 13: Land Use Plan” of the Master Plan designates on the Future Land Use Map (FLUM) of the petitioned site as “Mixed-Use Low Density.” The goal, range of uses, and development character for that designation are copied below.

**MIXED-USE LOW DENSITY**

**Goal:** Increase neighborhood convenience and walkability within and along edges of neighborhoods with low density residential and neighborhood-serving retail/commercial establishments.

**Range of Uses:** Low-density single-family, two-family and multifamily residential and  
ZD066/25

neighborhood business; typically businesses in residential scale buildings interspersed with residences. Uses can be combined horizontally or vertically (ground floor retail required in certain areas). Limited light-industrial uses (small food manufactures, craft and value added industry and passive warehousing and storage) may be allowed in some areas. Agricultural, stormwater management, and supporting public recreational and community facilities are allowed. Transit and transportation facilities are allowed.

**Development Character:** Height, mass and density of new development varied depending on surrounding neighborhood character. Allow the adaptive reuse of historic and non-residential structures with densities higher than the surrounding neighborhood through the planned development process. Allow higher residential densities when a project is providing significant public benefits such as long-term affordable housing. Incorporate risk reduction and adaptation strategies in the built environment.

This standard is met. The proposed use is a neighborhood commercial establishment and is in line with the range of uses in the neighborhood. The proposed scale of the restaurant in an existing mixed-use district is conducive to the walkability of Freret Street and the adjacent residential areas. The subject site has been a restaurant for over ten years, and this proposal will continue its use with a minor increase in interior space. This minor increase in size is not inconsistent with the goals of the Mixed-Use Low-Density FLUM designation.

***The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations.***

This standard is met. The site is located within an HU-MU Historic Urban Neighborhood Mixed-Use District. The purpose of the HU-MU District is to encourage mixed-use areas that are compatible with adjacent or nearby land uses. As an existing restaurant, the subject site borders a mix of commercial uses with neighboring residential uses in the adjacent HU-RD2 Historic Urban Two-Family Residential District. The proposal to increase the standard restaurant's square footage is considered consistent with the surrounding area and would achieve the goals of the current zoning district.

***The proposed use meets all standards specifically applicable to the use as set forth in Article 20 and all environmental performance standards of Section 21.3.***

This standard is met. The restaurant is subject to the standard restaurant use standards contained within **Article 20** of the Comprehensive Zoning Ordinance. Staff therefore recommend a standard proviso which would require compliance with these use standards. The proposed conditional use meets all other environmental performance standards listed in **Article 21, Section 21.3**, where vibration, dust and air pollution, regulated materials, fire and explosion hazards, noise standards do not apply to the nature of the proposed use.

***The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods and, as required by the particular circumstances, includes improvements or modifications either on-site or within the public right-of-way to mitigate development-related adverse impacts.***

This standard is met. The aesthetic character of the area would not be negatively impacted, despite an increase in the site's footprint and façade. The most significant impact which is expected is an increase in

demand for street parking and normal operational impacts associated with restaurants generally [trash, noise, etc.], all of which would be at levels that would be appropriate for this commercial corridor.

***Any variance of zoning standards meets the approval standards of Section 4.6.F.***

This is not applicable. As currently designed, the applicant has not stated an intent to request any variances, and the proposal generally complies with the HU-MU District’s minimum bulk and yard regulations.

***The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.***

This standard is met. With the implementation of the recommended provisos, staff believe that the proposed use would not result in inappropriate impacts on other properties in the vicinity. The restaurant, which is existing, would continue to blend in with the existing mix of restaurants, bars, and small retail uses that characterize much of the Freret Street corridor and the surrounding neighborhood.

**Staff Recommendation**

The staff recommends **APPROVAL** of Zoning Docket 066/25 subject to three (3) provisos:

*Provisos*

1. In accordance with **Article 20, Section 20.3.ZZ** of the Comprehensive Zoning Ordinance, the applicant shall meet the following standards:
  - a. A restaurant shall submit a security and operation plan, to be reviewed by the Director of Safety and Permits, and all other relevant City agencies.
  - b. A restaurant shall submit a noise abatement plan, to be reviewed by the Director of Safety and Permits, and all other relevant City agencies.
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  - e. The holding bar should be only open to the public while food is being served in the restaurant dining room.
2. Plans submitted to the City Planning Commission for final approval shall indicate the installation of at least 3 short-term bicycle parking spaces, as set forth in **Article 22, Section 22.4.A (Table 22-1)** and **Article 22, Section 22.6** of the Comprehensive Zoning Ordinance. The design of bicycle parking spaces

shall comply with the requirements as set forth in **Article 22, Section 22.9** of the Comprehensive Zoning Ordinance. When submitting plans to the City Planning Commission for final approval, the developer shall provide documentation of all required approvals by the Department of Public Works for any bicycle spaces located in the public right-of-way.

3. The Department of Safety and Permits shall issue no building permits or licenses specifically related to the proposed commercial use that is to be over 5,000 square feet in floor area until final development plans are approved by the City Planning Commission and recorded with the Office of Conveyances. Failure to complete the conditional use process by properly recording plans within one year or failure to request an administrative extension as provided for in **Article 4, Section 4.3.H.2** of the Comprehensive Zoning Ordinance will void the conditional use.

### City Planning Commission Meeting (December 9, 2025)

Staff summarized the application and presented its recommendation for approval. The applicant and a member of the public spoke in support of the request. Commissioner Steeg made a motion for approval in accordance with staff's recommendation. Commissioner Flick seconded. The motion passed unanimously.

APPROVAL SUBJECT TO THREE (3) PROVISOS.

#### *Provisos*

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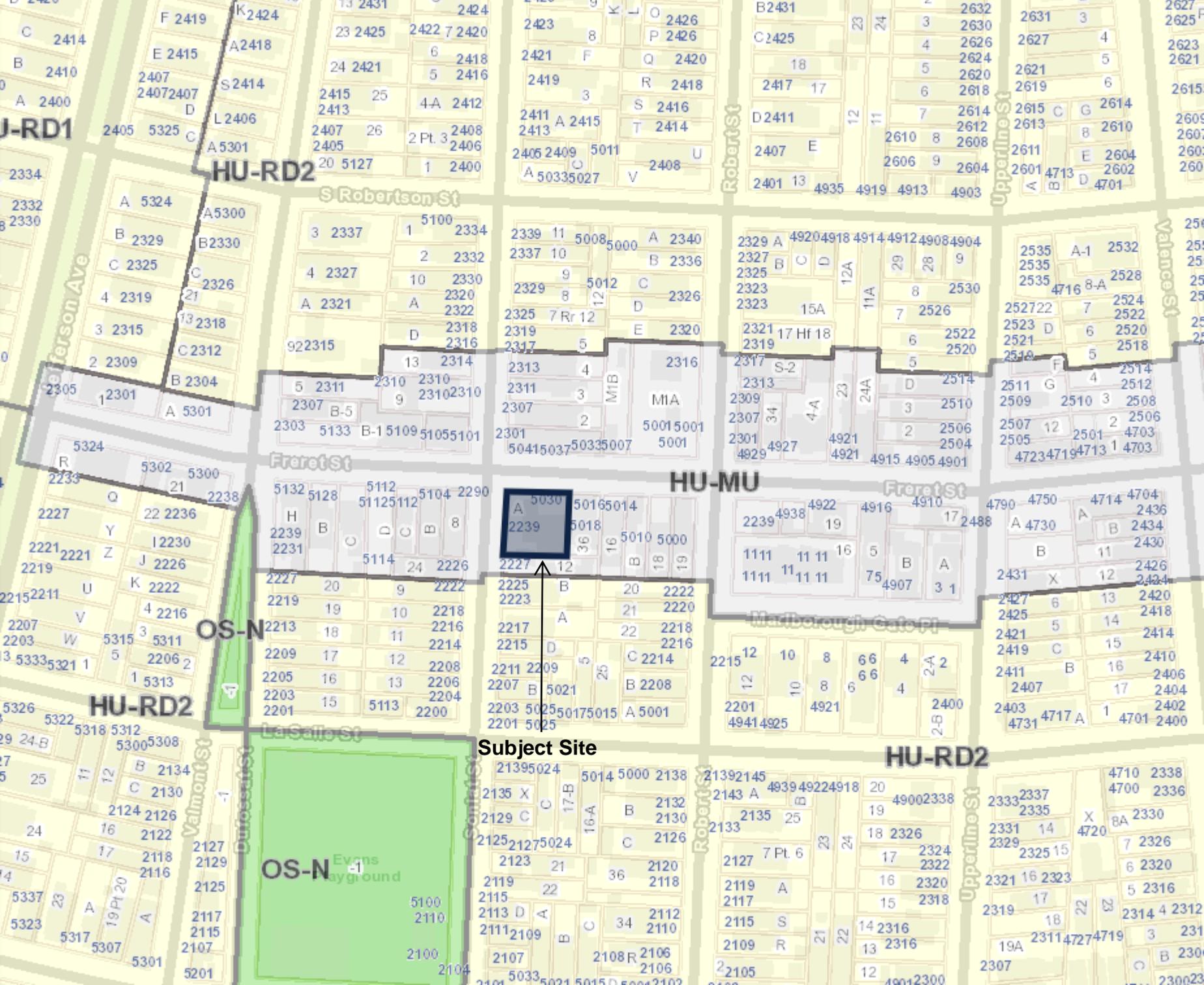
MOTION:

BE IT MOVED BY THE CITY PLANNING COMMISSION THAT ZONING DOCKET 066/25 IS HEREBY RECOMMENDED FOR APPROVAL. BE IT FURTHER MOVED THAT THE EXECUTIVE DIRECTOR IS HEREBY AUTHORIZED TO NOTIFY THE CITY COUNCIL OF SAID ACTION.

YEAS: Flick, Jordan, Joshi-Gupta, Kepper, Poche, Steeg, Stewart, Witry

NAYS: N/A

ABSENT: N/A



**Subject Site**  
2239

**Subject Site**

**OS-N**  
Evens  
Playground

**HU-RD2**

**HU-MU**

**HU-RD2**

**J-RD1**

**Jefferson Ave**

**S Robertson St**

**Freret St**

**La Salle St**

**OS-N**

**Valmont St**

**Dufresne St**

**Comte St**

**Robert St**

**Upperline St**

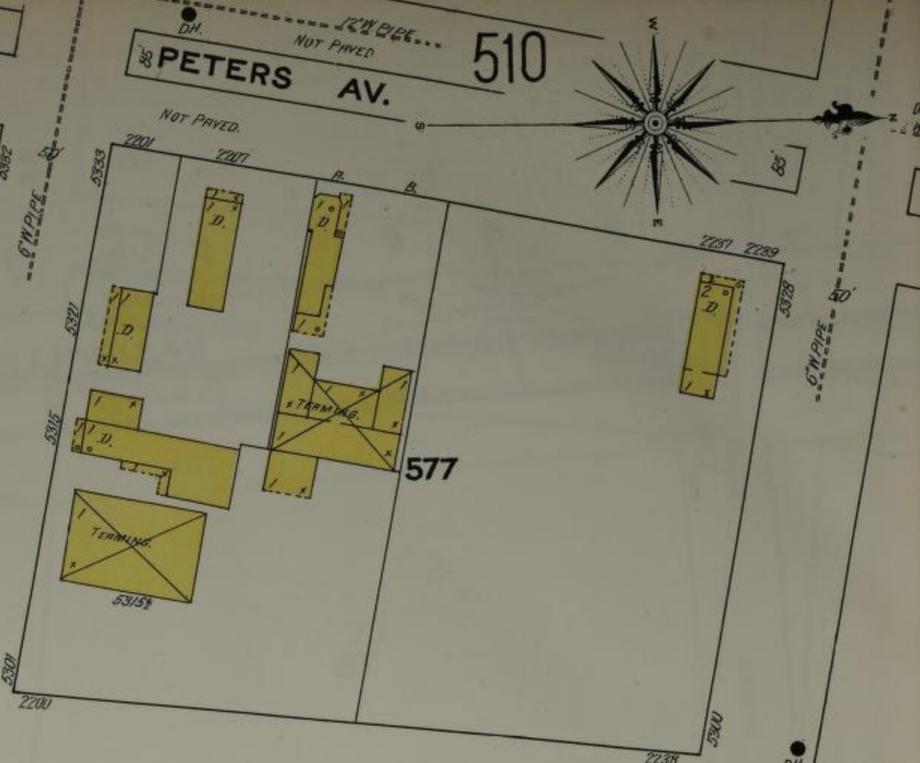
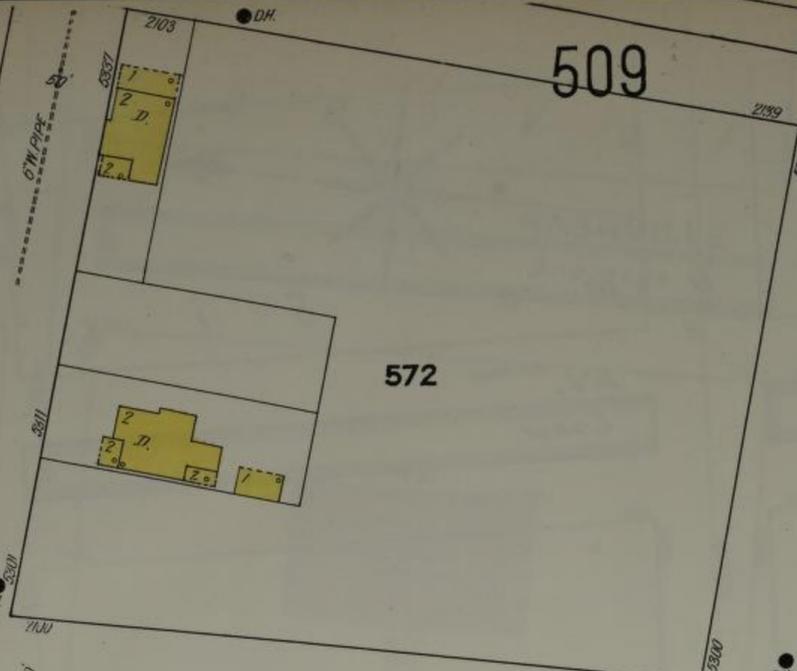
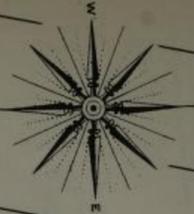
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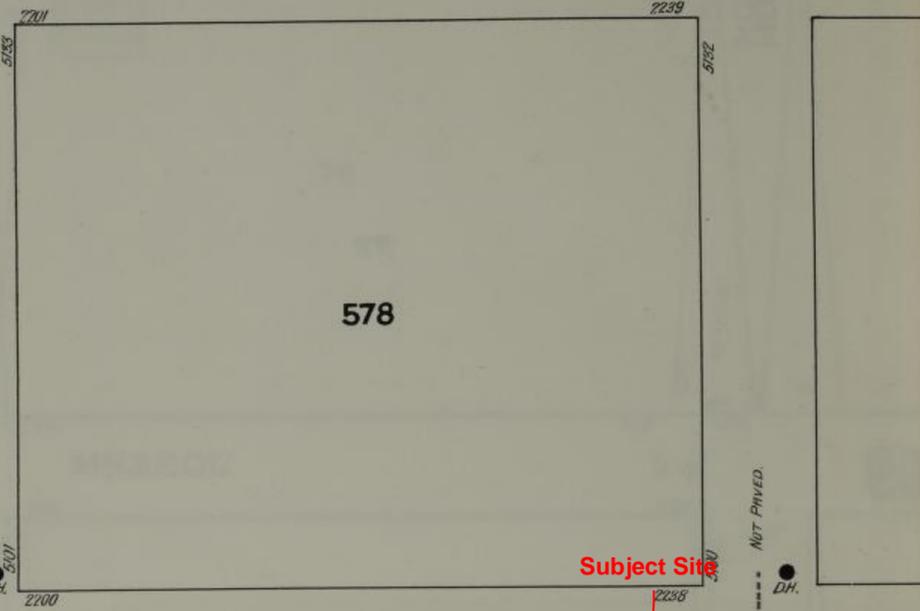
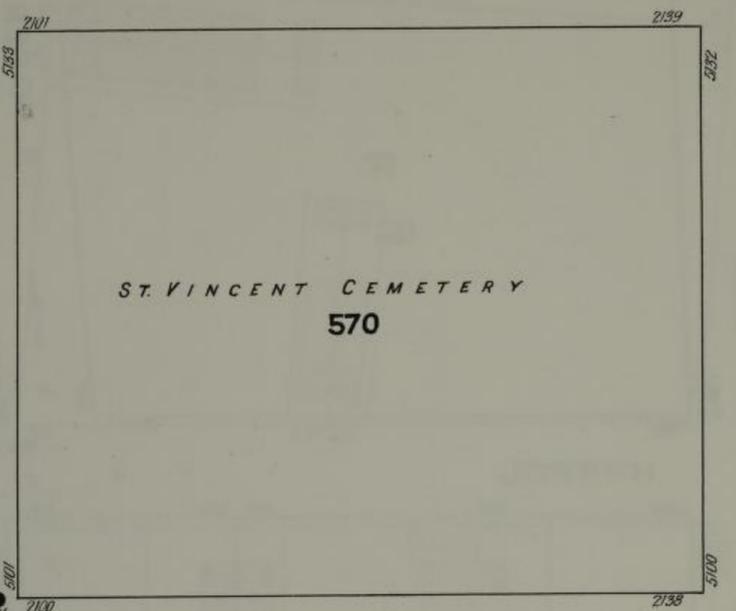
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VALMONT

VALMONT

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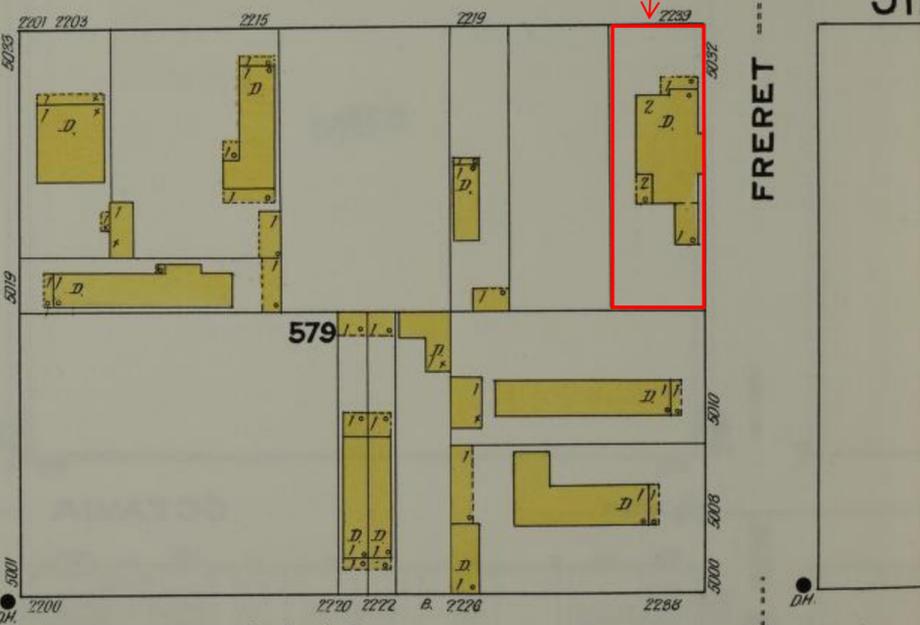
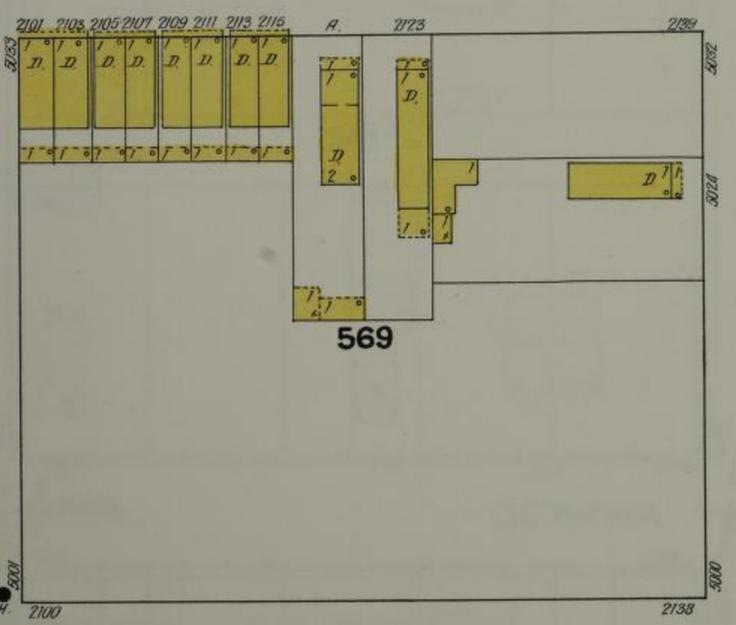
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Subject Site

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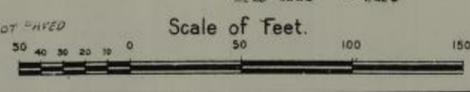
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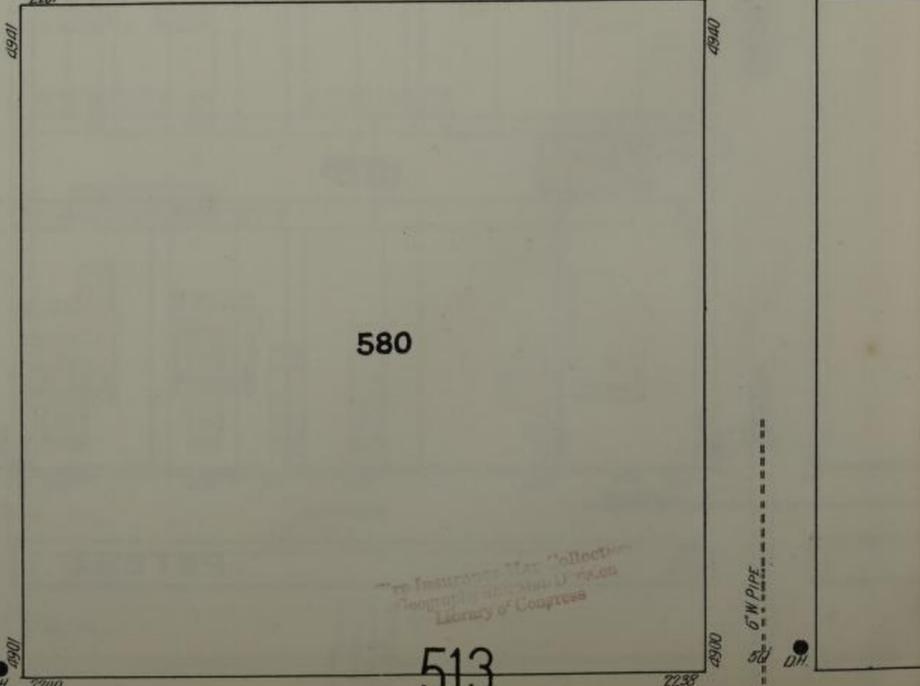
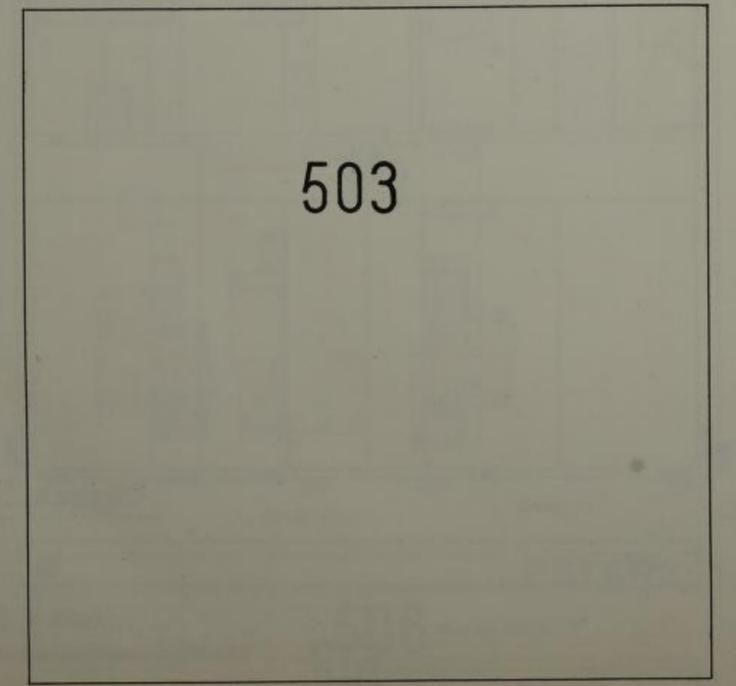
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ROBERT



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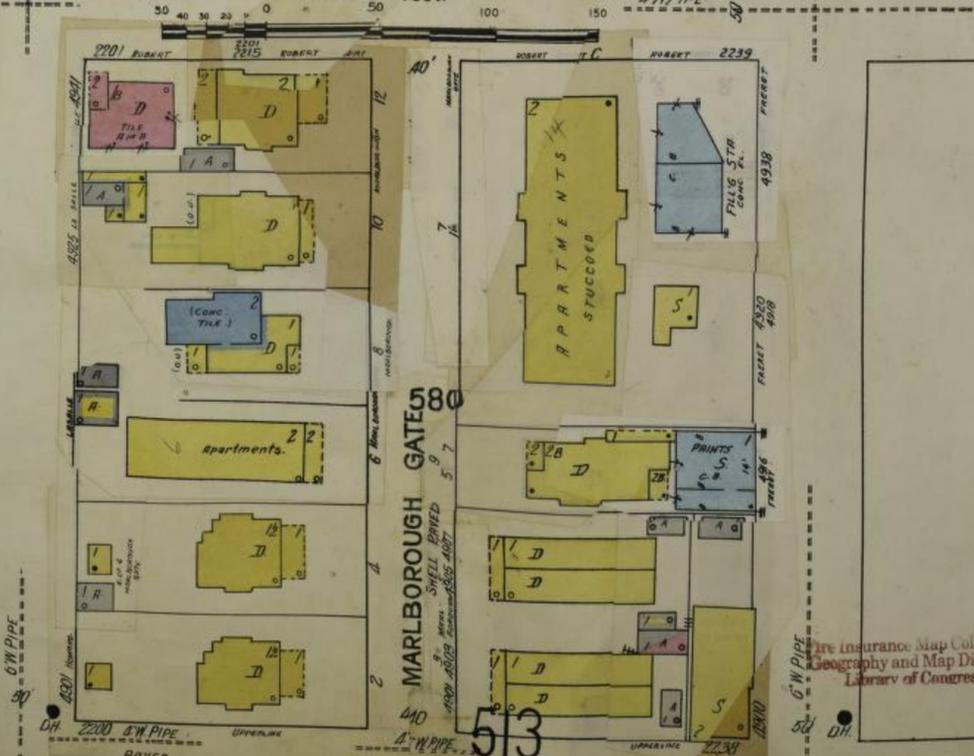
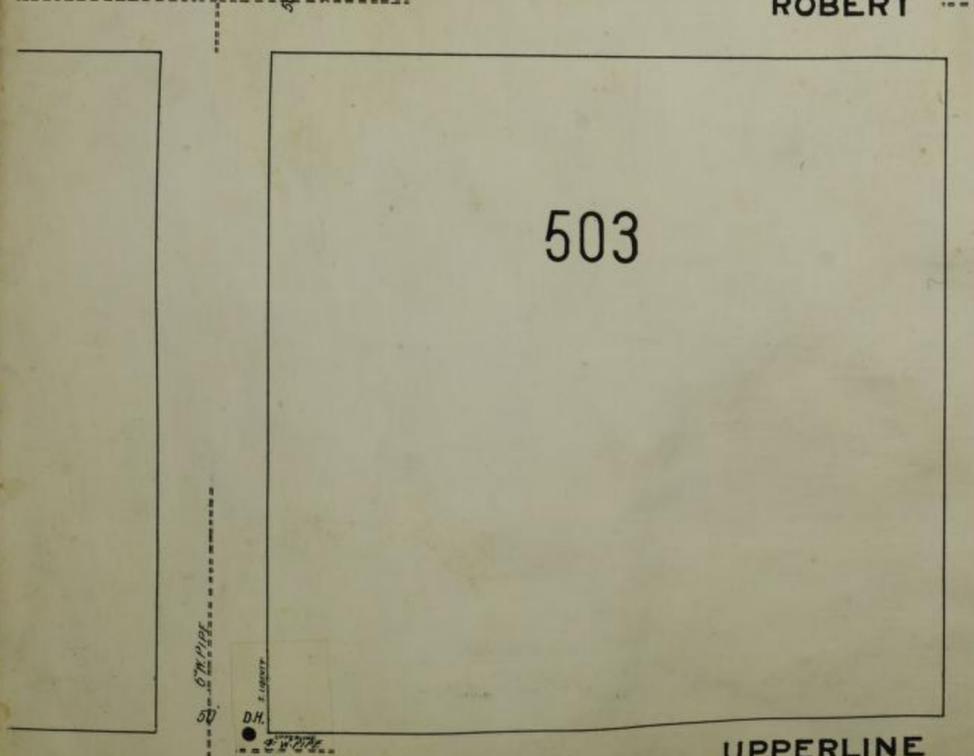
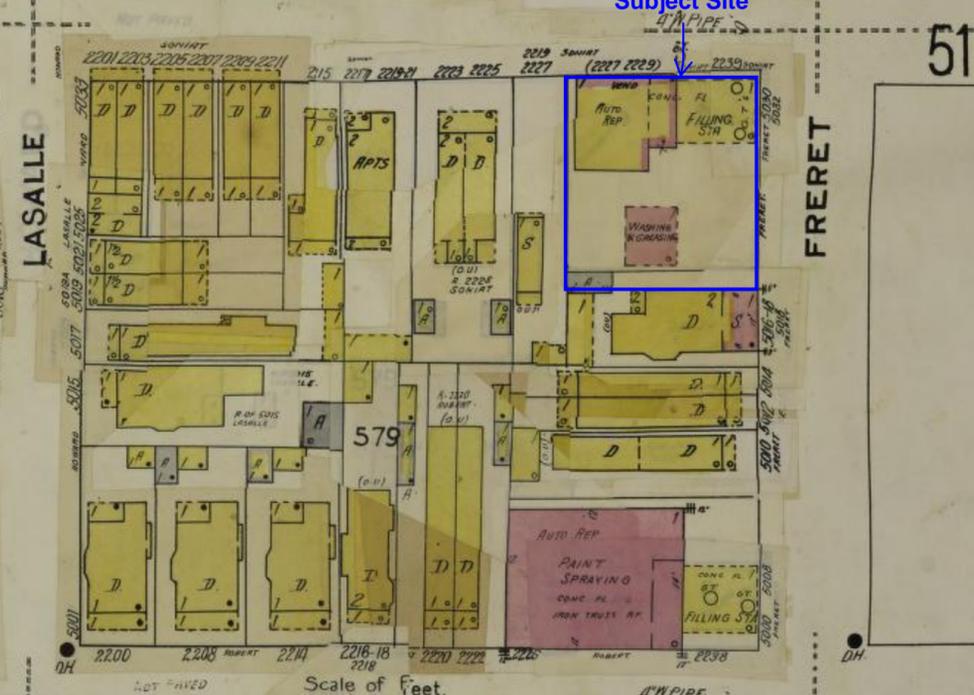
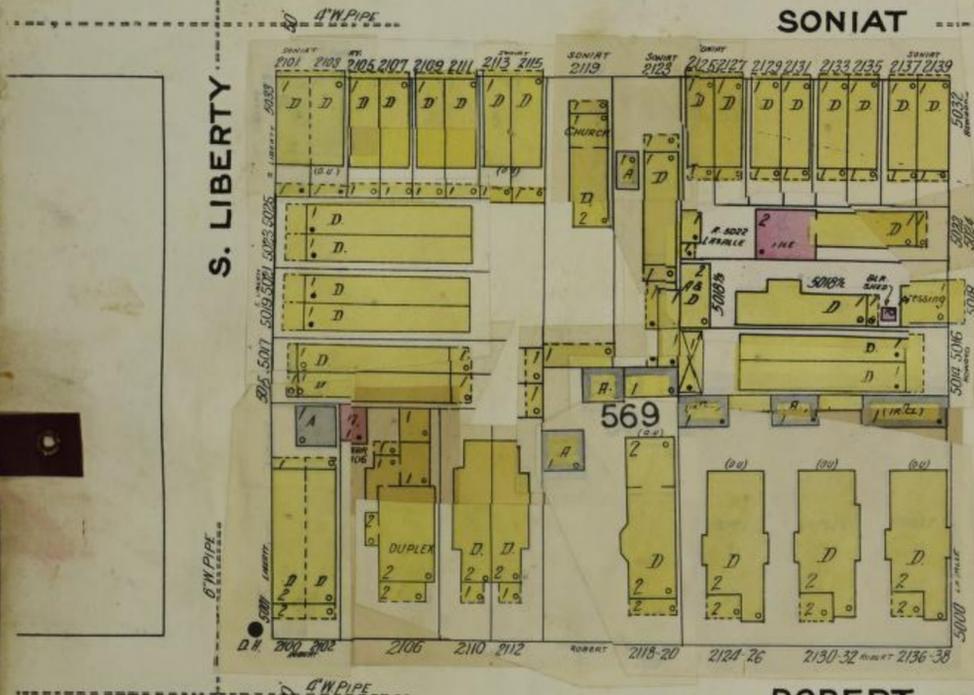
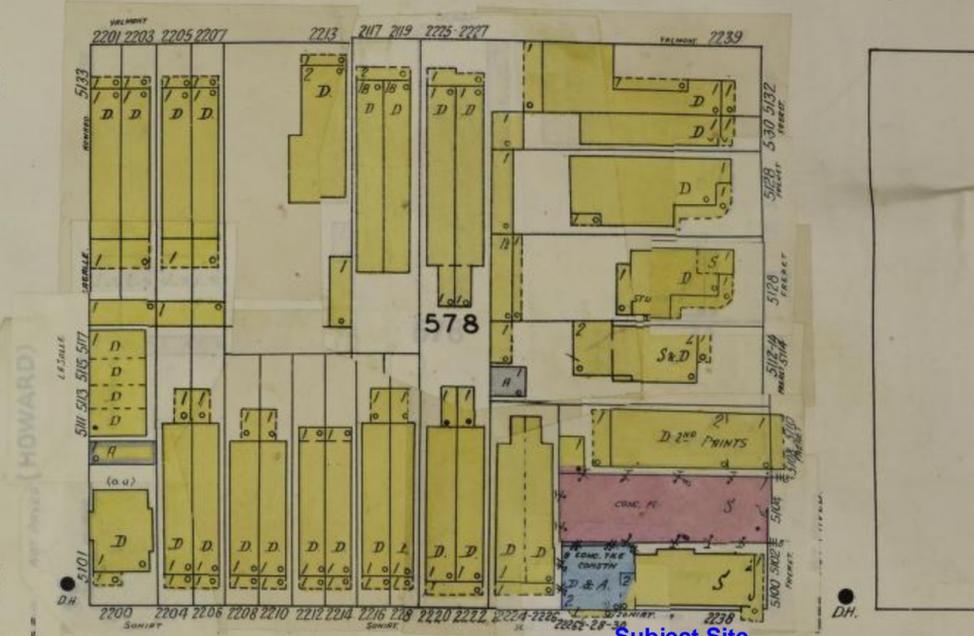
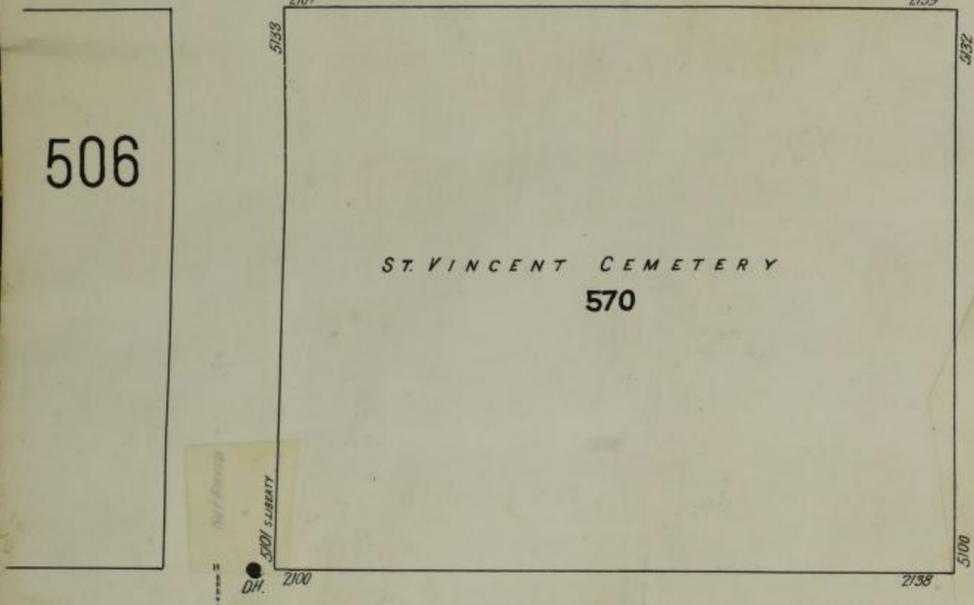
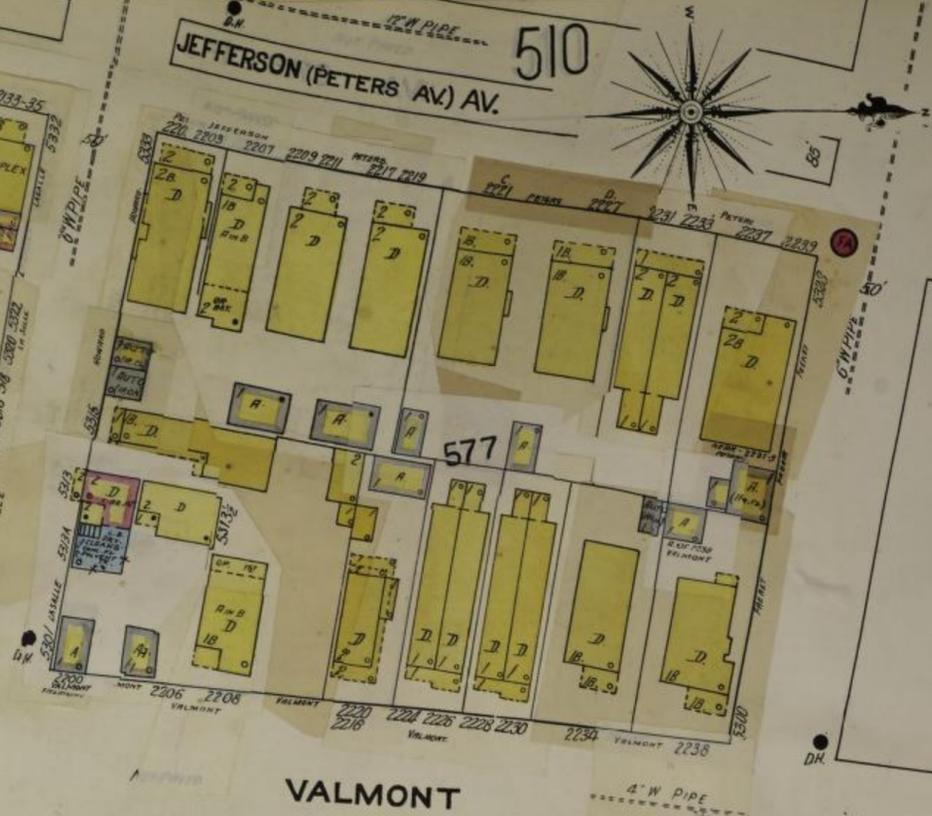
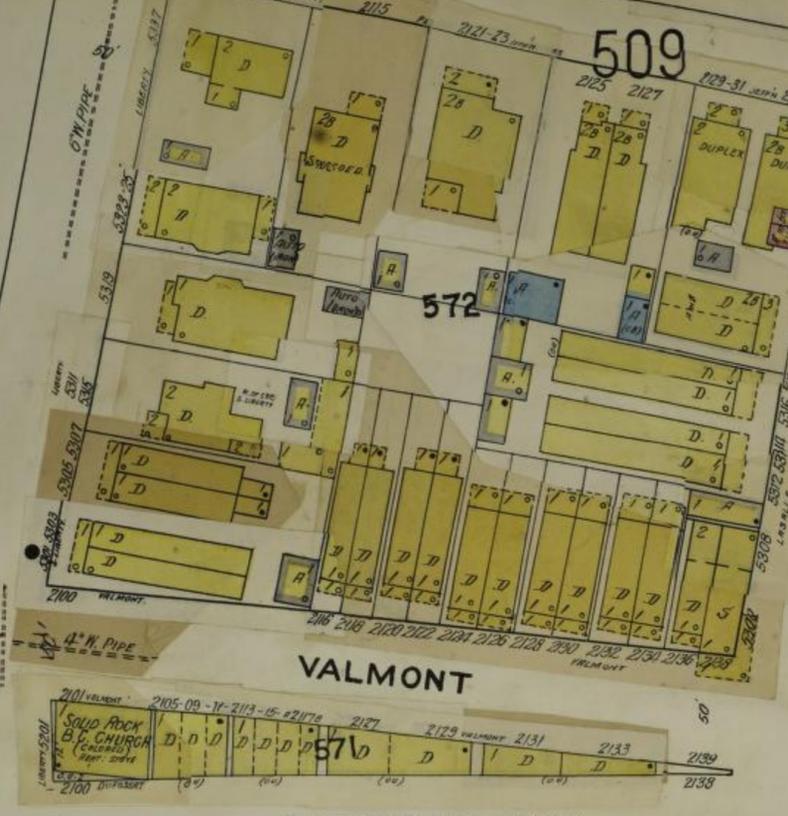
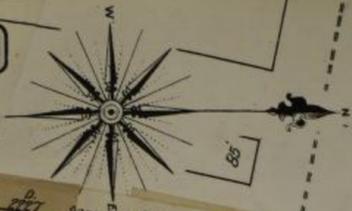
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513

UPPERLINE

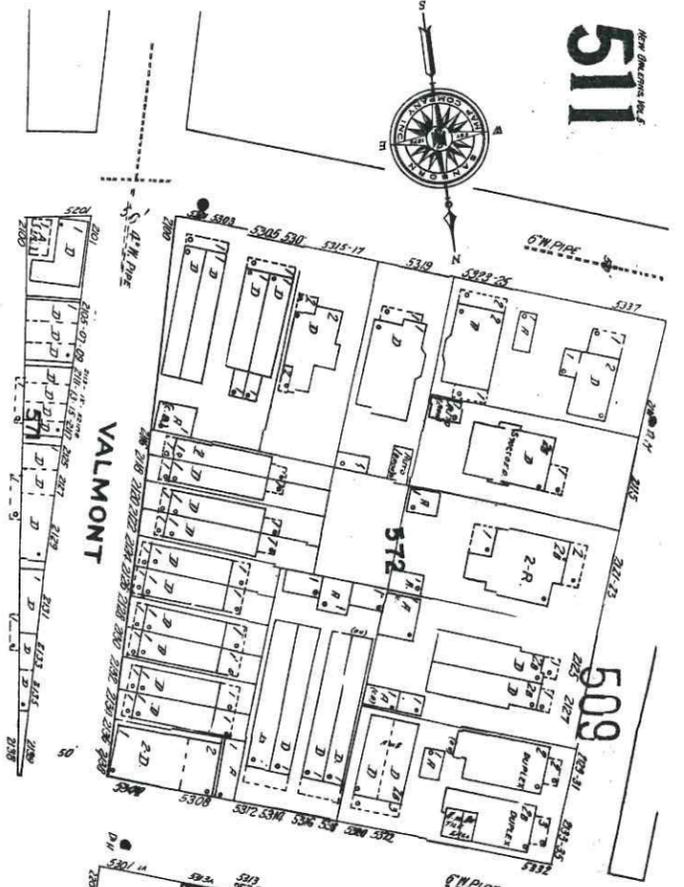
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Department  
Library of Congress

NEW ORLEANS, VOL. 5  
**511**  
LA ..010



Scale of Feet.  
0 50 100 150

511

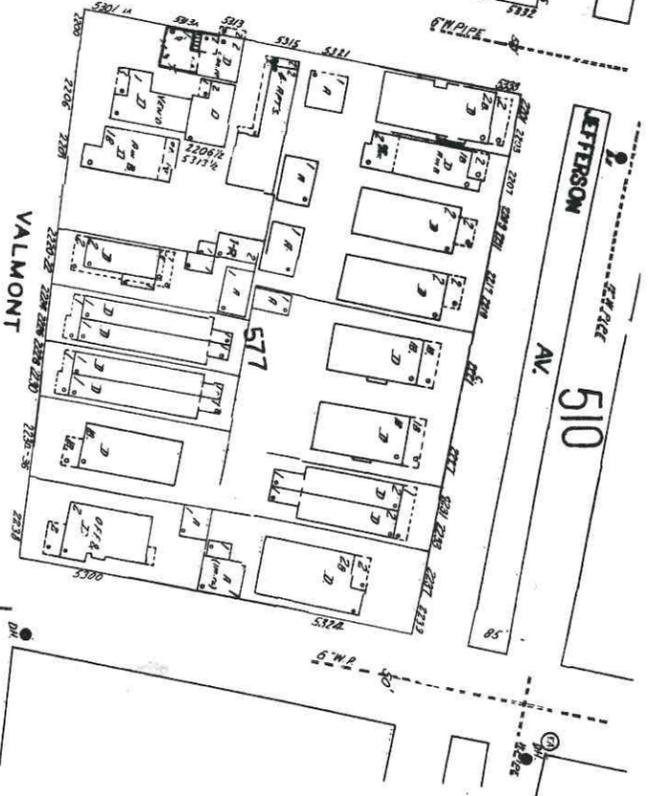


DUFUSSAT

VALMONT

509

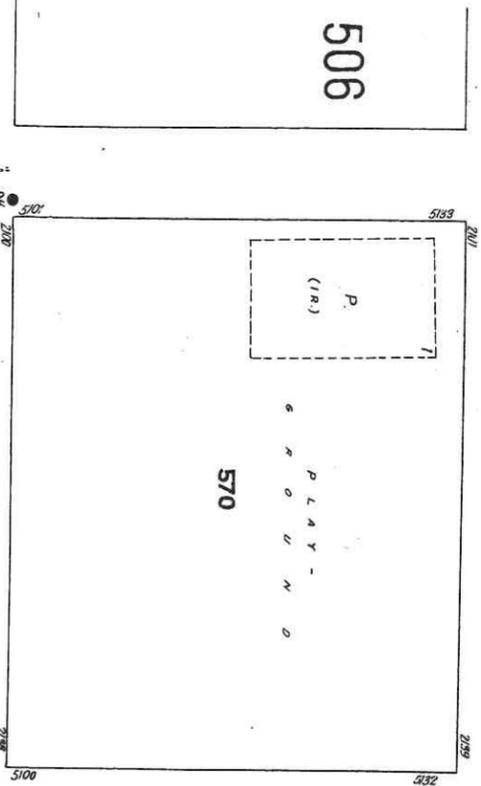
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DUFUSSAT

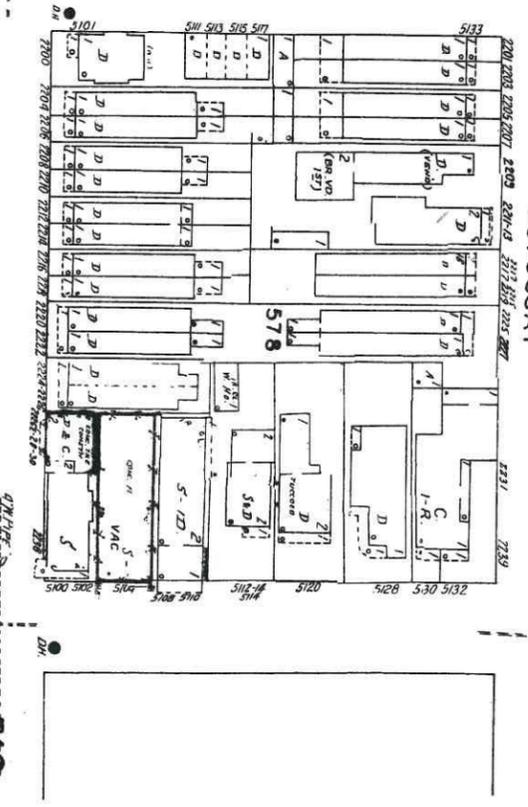
VALMONT

577



506

570

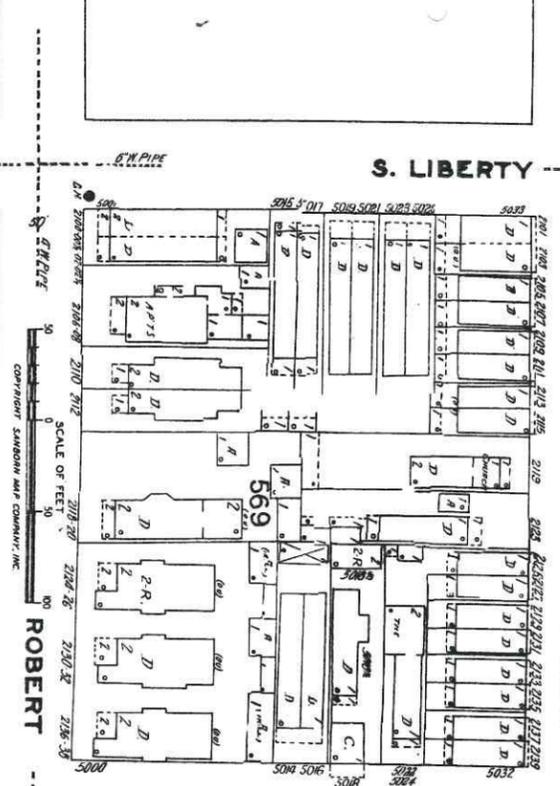


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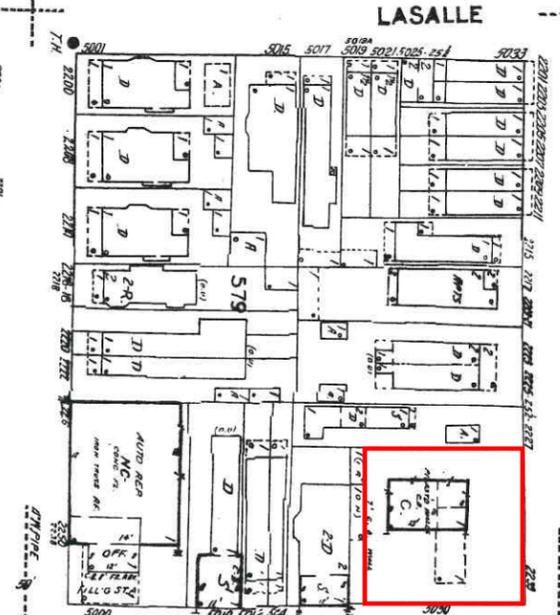
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S. LIBERTY

SONIAT

569

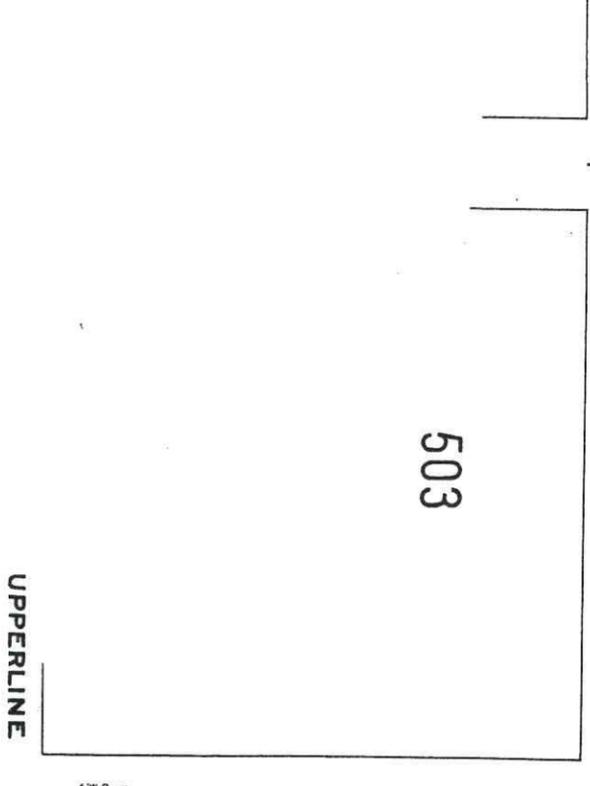


LASALLE

579

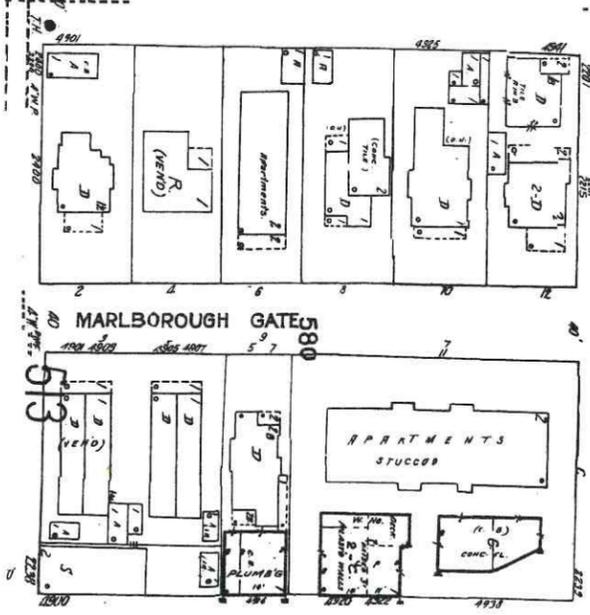
FRERET

Subject Site



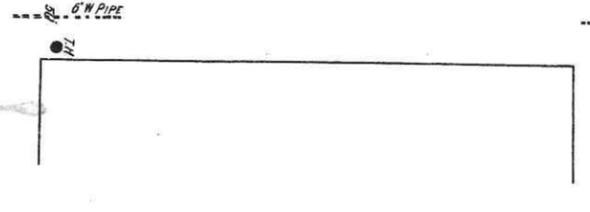
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ROBERT



MARLBOROUGH GATE

580



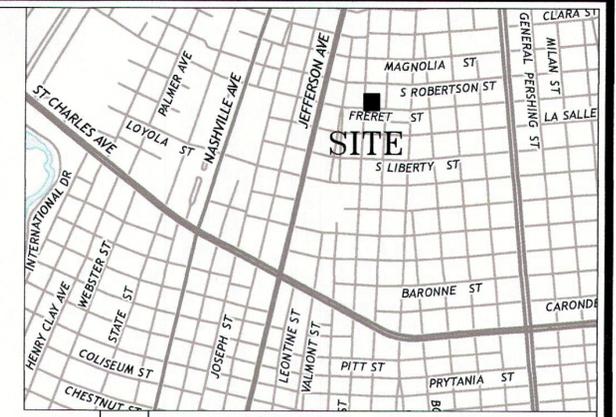
513

UPPERLINE

# SIXTH DISTRICT SQUARE 579

LASALLE STREET (SIDE)

LOT 12 & 13  
NOT A PART



VICINITY MAP  
(N.T.S.)



ROBERT STREET (SIDE)

LOT PT 1-2  
NOT A PART

LOT A  
6,870 Sq. Ft.

SONIAT DRIVE

FRERET STREET

ALL ANGLES ARE 90.°

THIS PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA COMMUNITY PANEL NUMBER 22071C0236 F SEPTEMBER 30, 2016

CERTAIN FEATURES I.E. FENCES, WALLS, ETC. MAY BE EXAGGERATED IN SCALE FOR CLARITY. DIMENSIONS SHOW ACTUAL LOCATIONS.

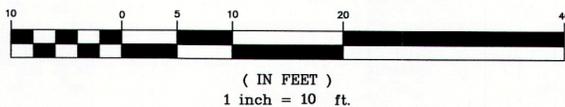
THE SERVITUDES SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE RECORD DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

REFERENCE SURVEY BY F.C. GANDOLFO JR. DATED AUGUST 26, 1955.

SMALL SLANT FIGURES DENOTE ELEVATIONS. ELEVATIONS SHOWN HEREON ARE DERIVED FROM GPS OBSERVATIONS AND ARE REPORTED IN CAIRO DATUM. SUBTRACT 20.43 FROM VALUES SHOWN HEREON TO CONVERT ELEVATIONS TO NAVD'88 GEOID 18.

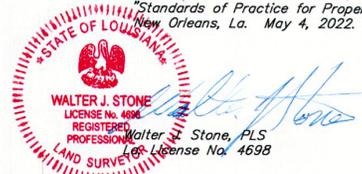
LEGEND	
	DRAIN MANHOLE
	WATER MANHOLE
	SEWER MANHOLE
	GAS MANHOLE
	UNDERGROUND ELECTRIC & MANHOLE
	OVERHEAD ELECTRIC & POLE
	OVERHEAD TELEPHONE & POLE
	UNDERGROUND TELEPHONE & MANHOLE
	CATV BOX
	WESTERN UNION MH
	WOOD PLANTER
	CATCH BASIN
	OPEN GRATE DRAINS
	HYDRANT
	PARKING METER
	TRAFFIC LIGHT
	DRAIN CLEANOUT
	SEWER CLEANOUT
	WATER VALVE
	LIGHT STANDARD
	WATER METER
	GAS VALVE
	SIGN
	POWER POLE AND GUY ANCHOR

GRAPHIC SCALE



Boundary & Topographic Survey of Lot A made for Dat Dogs Enterprises L.L.C at the request of Mr Steven Rome, Architect New Orleans, La. May 4, 2022.

I certify that this plat is a delineation of a survey made on the ground, under my supervision, and meets the requirements of a Class B survey as defined in the "Standards of Practice for Property Boundary Surveys in the State of Louisiana." New Orleans, La. May 4, 2022.



**GANDOLFO KUHN, L.L.C.**  
PROFESSIONAL LAND SURVEYORS  
2329 SEVERN AVE.  
METAIRIE, LA. 70001  
surveys@gandolfokuhn.com  
504.618.2810

# DAT DOG

## 5030 FRERET STREET

### NEW ORLEANS, LOUISIANA

#### ADDITIONS AND RENOVATIONS

STRUCTURAL ENGINEER:  
 JOHN C. BOSE CONSULTING ENGINEER  
 2113 OCTAVIA STREET  
 NEW ORLEANS, LA 70115

ARCHITECT:  
 VERGESROME ARCHITECTS  
 320 N. CARROLLTON AVENUE, SUITE 100  
 NEW ORLEANS, LA. 70119

CONTRACTOR:

CONDITIONAL USE



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NEW ORLEANS, LOUISIANA 70115

DAT DOG  
RENOVATION

5030 FRERET ST.

**FUTURE LOCATION OF PROVISOS AND WAIVERS**

**BUILDING INFORMATION**

PROJECT LOCATION: 5030 FRERET STREET  
 NEW ORLEANS, LOUISIANA

ZONING: B1-A (NEIGHBORHOOD BUSINESS DISTRICT MUNICIPAL CODE 5.5)

SQUARE: 579  
 LOT: A

LOT AREA: 6,808 SF

NUMBER OF STORIES: 1 STORIES

BUILDING HEIGHT: 20' - 0"

CONSTRUCTION TYPE (IBC 2015): TYPE VB  
 OCCUPANCY: ASSEMBLY: A-2

ORIGINAL CONSTRUCTION DATE: 1950

BUILDING AREAS  
 EXISTING BUILDING: 2365 SF  
 NEW CONSTRUCTION: 1457 SF  
 TOTAL AREA: 3822 SF

EXISTING CANOPY: 432 SF

**PLUMBING FIXTURE CALCULATIONS**

OCCUPANCY: STATE HERE, XX FIXED SEATS  
 XX REMOVABLE SEATS

TOILETS: REQUIRED: PROVIDED:  
 (X) MALE (X) MALE  
 (X) FEMALE (X) FEMALE

LAVATORIES: (X) MALE (X) MALE  
 (X) FEMALE (X) FEMALE

**DRAWING INDEX**

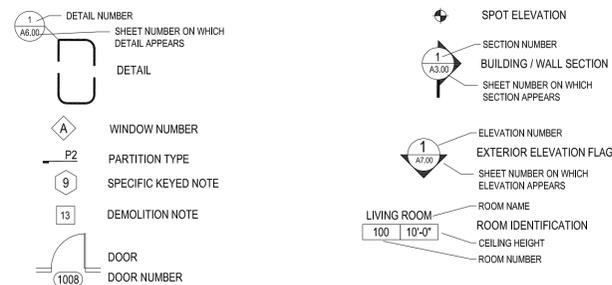
**ARCHITECTURAL**

- A0.00 COVER SHEET - PROJECT INFO & DRAWING INDEX
- A0.01 LANDSCAPE PLAN
- A1.00 FLOOR PLAN
- A1.01 SITE PLAN
- A2.01 SKETCHED ELEVATIONS
- A2.02 BUILDING ELEVATIONS
- A5.00 PHOTOS

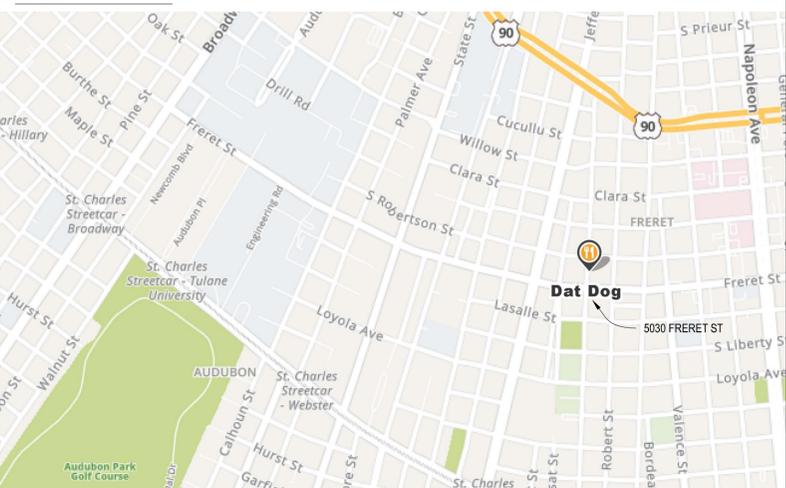
**ABBREVIATIONS**

ABV ABOVE	EA EACH	IN IN	INCHES	REOD REQUIRED	REQUIRED
A.F.F., AFF ABOVE FINISHED FLOOR	EB EDGE Banded	IC IN CONTRACT	IN CONTRACT	RIA RETURN AIR	RETURN AIR
ACOUS. ACOUSTICAL	ELEC ELECTRIC (AL)	INCL INCLUDED (D), (ING)	INCLUDED (D), (ING)	RM ROOM	ROOM
ADJ ADJUSTABLE	EL. ELEV	INSUL INSULATE (D), (ING)	INSULATE (D), (ING)	RT RESILIENT TILE	RESILIENT TILE
A/C AIR CONDITIONING	ELEV ELEVATOR	INT INTERIOR	INTERIOR	SHT SHEET	SHEET
ALT ALTERNATE	EMER EMERGENCY	JAN JANITOR	JANITOR	SL SLOPE	SLOPE
ALUM ALUMINUM	EQ EQUAL	JT JOINT	JOINT	SIM SIMILAR	SIMILAR
ARCH ARCHITECT	EQUIP EQUIPMENT	JTS JOISTS	JOISTS	S.C. SOLID CORE	SOLID CORE
BLK BLOCK	EXH EXHAUST	LBL LABEL	LABEL	SPEC SPECIFICATION (S)	SPECIFICATION (S)
BLKG BLOCKING	EXIST. EX EXISTING	LAM LAMINATE (D)	LAMINATE (D)	SQ SQUARE	SQUARE
BD BOARD	EJ, E.J. EXPANSION JOINT	LAV LAVATORY	LAVATORY	S.F. SQUARE FEET	SQUARE FEET
BOT BOTTOM	F, FACE OF	MFR MANUFACTURER	MANUFACTURER	STD STANDARD	STANDARD
BRK BRICK	FT FEET	M.E. MATCH EXISTING	MATCH EXISTING	STL STEEL	STEEL
BLDG BUILDING	FIN FINISH (ED)	MATL MATERIAL (S)	MATERIAL (S)	STOR STORAGE	STORAGE
CB CATCH BASIN	F.C. FIRE CABINET	MAX MAXIMUM	MAXIMUM	STRUCT STRUCTURAL	STRUCTURAL
CFCI CONTRACTOR FURNISHED	F.E.C. FIRE EXTINGUISHER CABINET	MECH MECHANICAL	MECHANICAL	SURF SURFACE	SURFACE
C.J., C.J. CONTRACTOR JOINT	FLR FLOOR	MTL METAL	METAL	SUSP SUSPENDED	SUSPENDED
CPT CARPET	FL FLOOR	MEZZ MEZZANINE	MEZZANINE	SYST SYSTEM	SYSTEM
CLG CEILING	F.A. FLOOR DRAIN	MIN MINIMUM	MINIMUM	TEL TELEPHONE	TELEPHONE
C.T. CERAMIC TILE	FOEF FACE OF EXISTING FINISH	MISC MISCELLANEOUS	MISCELLANEOUS	T.V. TELEVISION	TELEVISION
CLR CLEAR	FOF FACE OF FINISH	MLD MOLDING, MOULDING	MOLDING, MOULDING	TEMP TEMPORARY	TEMPORARY
CLO CLOSET	FP FIRE PROOFING	MTD MOUNT (ED), (ING)	MOUNT (ED), (ING)	THK THICK (NESS)	THICK (NESS)
COL COLUMN	FR FRAME	N.I.C. NOT IN CONTRACT	NOT IN CONTRACT	THK THICK (NESS)	THICK (NESS)
COMB COMBINATION	GA GAGE, GAUGE	N.T.S. NOT TO SCALE	NOT TO SCALE	TOIL TOILET	TOILET
CONC CONCRETE	GALV GALVANIZED	N.O., # NUMBER	NUMBER	T.O.S. TOP OF STEEL	TOP OF STEEL
CONTR. CONTRACTOR	G.I. GALVANIZED IRON	OFOI OWNER FURNISHED	OWNER FURNISHED	TYP TYPICAL	TYPICAL
C.M.U., CMU CONCRETE MASONRY UNIT	GEN GENERAL	OFCI OWNER INSTALLED	OWNER INSTALLED	U.L. UNDERWRITER'S LABORATORY	UNDERWRITER'S LABORATORY
COND CONDITION	G.C. GENERAL CONTRACTOR	OFI OWNER FURNISHED	OWNER FURNISHED	V.O.J. VERIFY ON JOB	VERIFY ON JOB
CONST CONSTRUCTION	GL GLASS	OFI CONTRACTOR INSTALLED	CONTRACTOR INSTALLED	V.O.J.A. VERIFY ON JOB W/ ARCHITECT	VERIFY ON JOB W/ ARCHITECT
CONT CONTINUOUS	GRFC GLASS FIBER REINFORCED CONCRETE	O.C. ON CENTER	ON CENTER	VERT VERTICAL	VERTICAL
C.G. CORNER GUARD	G.B. GRAB BAR	OPG OPENING	OPENING	V.F.T. VINYL FLOOR TILE	VINYL FLOOR TILE
DEMO DEMOLITION	GYP. GYPSUM	PNT PAINT	PANT	V.W.F. VINYL WALL FABRIC	VINYL WALL FABRIC
DTL DETAIL	GYP. BD. GYPSUM BOARD	PNL PANEL	PANEL	WSCT WAINSCOT	WAINSCOT
DIAG DIAGONAL	GWB GYPSUM WALL BOARD	PRT PARTITION	PARTITION	W.H. WALL HUNG	WALL HUNG
DIA DIAMETER	HIC HANDICAPPED	PLAS PLASTIC	PLASTIC	W.C. WATER CLOSET	WATER CLOSET
DR DOOR	HD HARDWARE	PLY PLYWOOD	PLYWOOD	WT WEIGHT	WEIGHT
DBL DOUBLE	HVAC HEATING, VENTILATION, AIR CONDITIONING	PROP PROPERTY	PROPERTY	W WIDTH, WIDE	WIDTH, WIDE
DN DOWN	HT HEATING, VENTILATION, AIR CONDITIONING	RAD RADIUS	RADIUS	W/W WITH	WITH
D.I. DRAIN INLET	HR HORIZONTAL	REF REFERENCE	REFERENCE	W/O WITHOUT	WITHOUT
DWR DRAWER	H.W.H. HOT WATER HEATER	REFR REFRIGERATOR	REFRIGERATOR	WO WOOD	WOOD
D.F. DRINKING FOUNTAIN	HR HOUR	REINF REINFORCE (D), (ING)	REINFORCE (D), (ING)		
		REMOVE REMOVE	REMOVE		

**GRAPHIC SYMBOL LEGEND**



**VICINITY MAP**



**FOR CONDITIONAL USE PERMIT ONLY**

DATE ISSUED: 20 OCTOBER 2025

REVISED:

PHASE:  
 CONDITIONAL USE  
 PERMIT DRAWINGS

**22003**

TITLE:  
 COVER SHEET

SHEET:  
**A0.00**

**DAT DOG**  
**RENOVATIONS / ADDITIONS**

NEW ORLEANS, LOUISIANA 70115

5030 FRERET ST.

DATE ISSUED: 20 OCTOBER 2025  
REVISÉD:  
REVISÉD:  
REVISÉD:  
REVISÉD:  
DRAWN BY: GG  
CHECKED BY:

PHASE:  
**CONDITIONAL USE APPLICATION**

**22003**

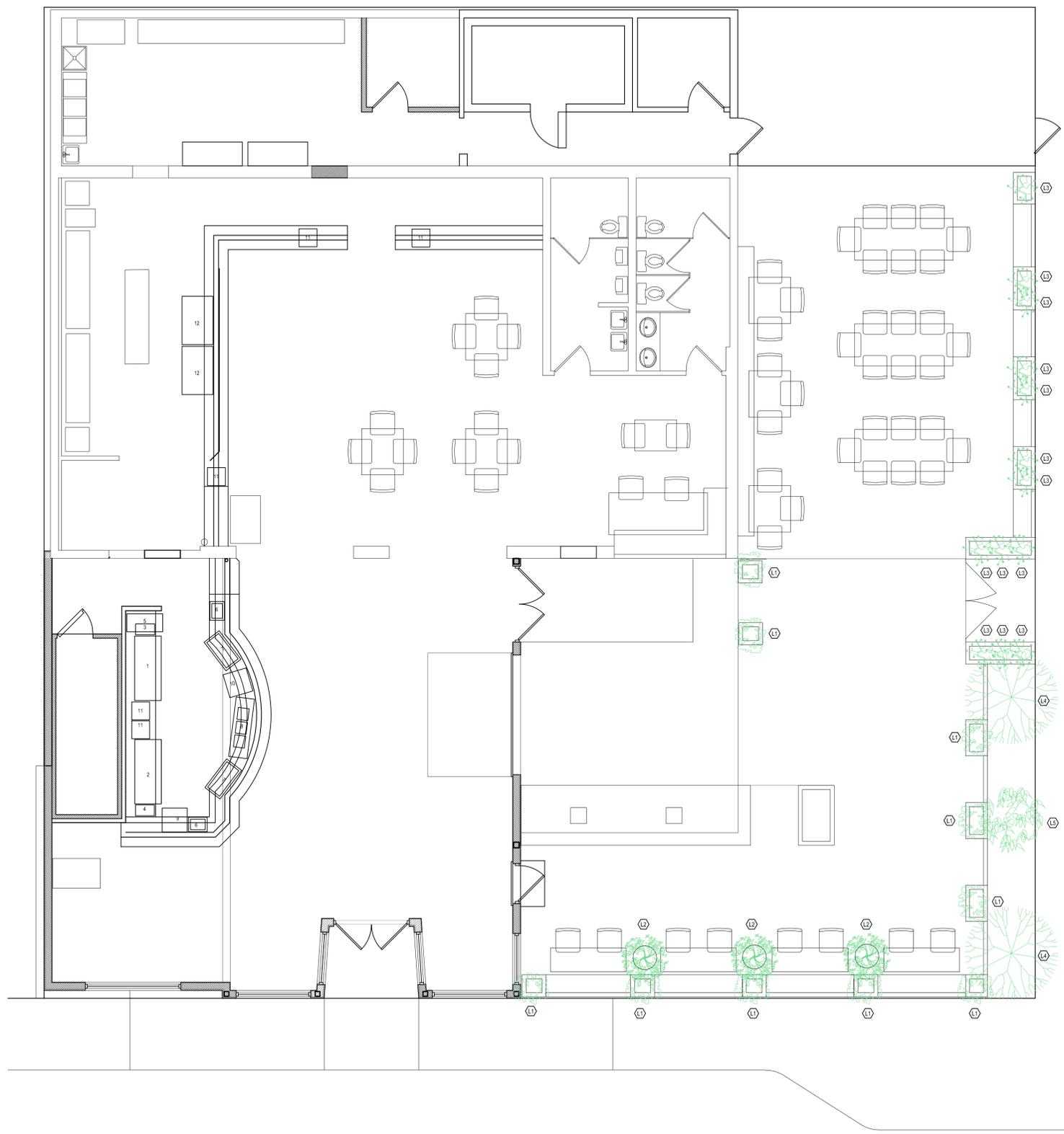
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**LANDSCAPE PLAN**

SHEET:

**A0.01**

**LANDSCAPE SCHEDULE**

	TREE / PLANT / BUSH NAME	QUANTITY	SIZE	NEW OR EXISTING	CONDITION	REMARKS
L1	ASPARAGUS DENSIFLORUS (FERN)	10	2'-0" T	EXISTING	HEALTHY	IN ELEVATED PLANTER
L2	OLIVE TREE	3	6'-0" T	EXISTING	HEALTHY	IN ELEVATED PLANTED
L3	STAR JASMINE	13	2 GAL	EXISTING	HEALTHY	IN ELEVATED PLANTER
L4	LOBLOLLY PINE	2	10" DIA	EXISTING	HEALTHY	IN GROUND
L5	WEEPING BOTTLEBRUSH	1	8" DIA	EXISTING	HEALTHY	IN GROUND





**DAT DOG - FRERET  
RENOVATION**

5030 FRERET ST

DATE ISSUED: 20 OCTOBER 2025  
 REVISED: \_\_\_\_\_  
 REVISED: \_\_\_\_\_  
 REVISED: \_\_\_\_\_  
 REVISED: \_\_\_\_\_  
 DRAWN BY: GG WSA  
 CHECKED BY: \_\_\_\_\_  
 PHASE: CONDITIONAL USE PERMIT DRAWINGS

**22003 - A**

TITLE:  
FLOOR PLAN

SHEET:  
**A1.00**



**AREA LEGEND**

	EXISTING CONDITIONED SPACE	2,365 SF
	NEW CONDITIONED SPACE	1,730 SF
	EXTERIOR SEATING	2,385 SF
	EXTERIOR BACK OF HOUSE SPACE	326 SF
<b>TOTAL SF</b>		<b>6,806 SF</b>

1 FLOOR PLAN  
A1.00 SCALE: NTS



DAT DOG - FRERET  
RENOVATION

KEY NOTES

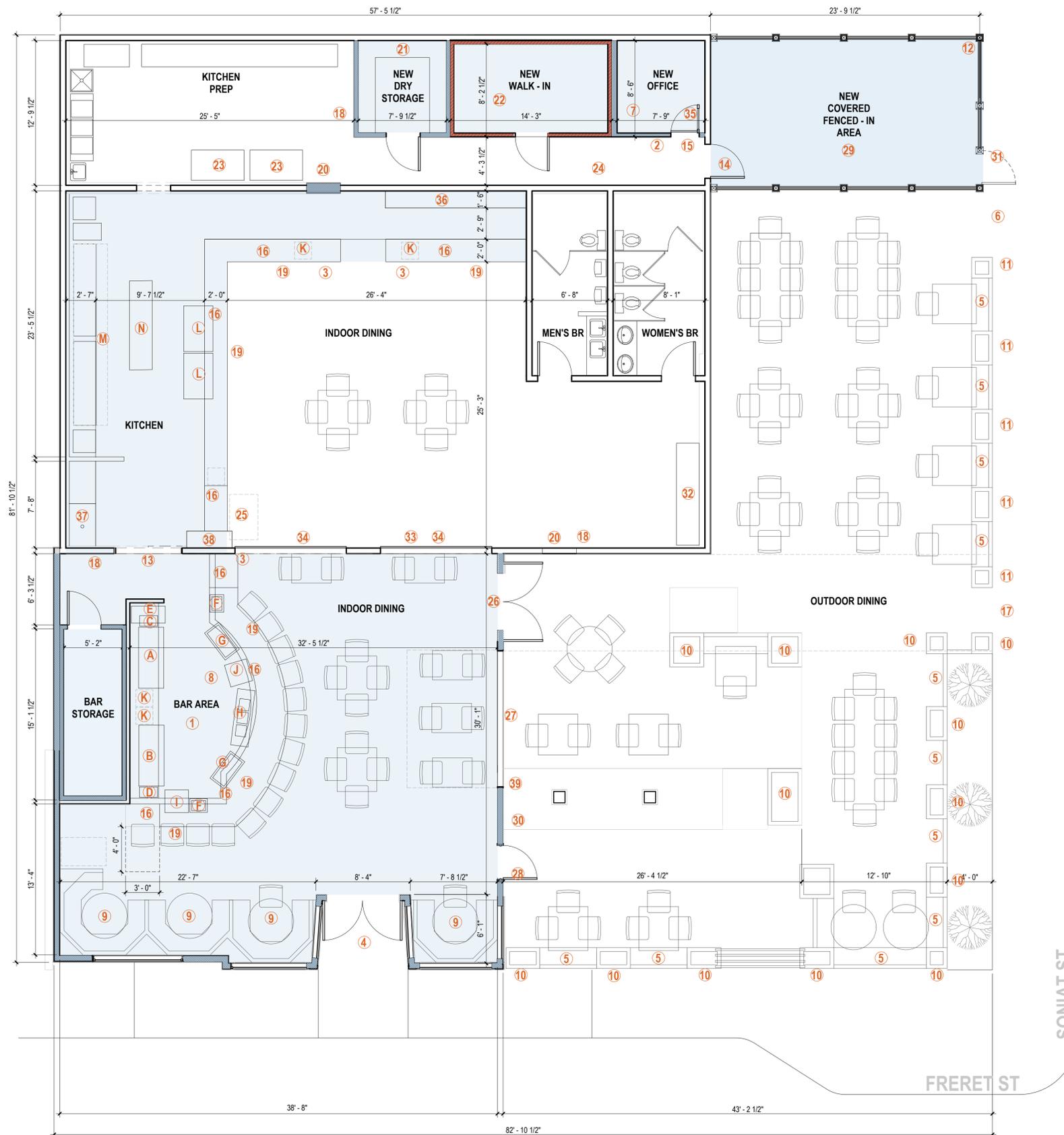
- 1 NEW BAR CONFIGURATION SHOWN - FRONT OF BAR TO BE FACED WITH CORRUGATED METAL PANELS TO MATCH EXISTING BAR FINISH
- 2 3 5/8" MTL. STUD WALL WITH 5/8" GYP. BD. AT FACE OF COOLER WALL
- 3 ADA ACCESSIBLE BAR SECTION: 2' 10" A.F.F.
- 4 NEW RECESSED ENTRY FROM FRERET ST.
- 5 NEW 3' HIGH WOOD FENCE
- 6 NEW 3' HIGH WOOD GATE
- 7 NEW WALK-IN COOLER AT LOCATION, AT THE SIZE OF 94" X 163" AS PER OWNER
- 8 NEW BAR-BACK EQUIPMENT AS PER OWNER
- 9 NEW BUILT-IN BOOTH IN CONFIGURATION AND LOCATION SHOWN
- 10 REPAIR / REFINISH / REPAINT BUILT-INS / REMOVE BUILT-IN AT LOCATION INDICATED
- 11 NEW BUILT-IN PLANTER AND / OR BENCH - MATCH EXISTING IN CONSTRUCTION, MATERIALS AND FINISH
- 12 NEW FENCE WITH ROOF ABOVE
- 13 ENLARGED OPENING - PROVIDE NEW STEEL LINTEL AS PER STRUC.
- 14 HALLOW METAL EXTERIOR DOOR
- 15 PROVIDE ACCESS PANELS TO ACCESS COOLER MECHANICAL COMPONENTS AS NEEDED
- 16 3" CONC/ CURB AT BAR BASE - TO BE POURED INTEGRAL WITH CONC. SLAB
- 17 ENTRANCE FROM SONIAT ST.
- 18 WALLMOUNTED FIRE EXTINGUISHER
- 19 NEW COUNTER / BAR
- 20 ENCLOSE EXISTING DOOR OPENING WITH METAL STUD AND GYP. BD. CONSTRUCTION.
- 21 NEW BUILT-IN DRY STORAGE WITH SHELVING
- 22 NEW OFFICE
- 23 NEW REACH-IN FREEZER
- 24 CONDITIONED SPACE
- 25 RUNNER PICK UP
- 26 NEW DOUBLE DOOR
- 27 12' WIDE GARAGE DOOR
- 28 NEW WINDOW W/ SILL HEIGHT AT 36" A.F.F.
- 29 NEW STEEL FENCED-IN AREA WITH LOCK
- 30 NEW 36" GLASS DOOR
- 31 KEYED GATE
- 32 CONDIMENT STATION
- 33 EXISTING BOOTHS
- 34 EXISTING GARAGE DOOR
- 35 GLASS DOOR TO SEE FROM OFFICE TO BACK OF HOUSE
- 36 FUTURE ICE CREAM / COFFEE MACHINE LOCATION(S), ENSURE NECESSARY ROUGH-IN AS REQ.
- 37 DRINK MACHINE DRAIN
- 38 CABINET FOR LIQUOR STORAGE
- 39 ELECTRIC SHADES

GRAPHIC LEGEND

-  NEW WALL CONSTRUCTION
-  NEW WALK - IN COOLER
-  EXISTING ITEM / WALL TO REMAIN
-  NEWLY RENOVATED SPACE

BACKBAR EQUIPMENT LEGEND

- |                            |                                  |
|----------------------------|----------------------------------|
| A GLASS AND PLATE CHILLER  | H 3 - COMPARTMENT UNDER BAR SINK |
| B HORIZONTAL BOTTLE COOLER | I DISHWASHER / SANITIZER         |
| C DAIQUIRI MACHINE         | J GLASS STORAGE BIN              |
| D DAIQUIRI MACHINE         | K CASHIER POS                    |
| E BAG IN BIN               | L DRESS LINE COOLER              |
| F HANDSINK                 | M EXISTING HOOD                  |
| G ICE BIN                  | N EXISTING SHELVING              |



1 SITE PLAN  
A1.01 SCALE: 3/16" = 1'-0"

DATE ISSUED: 20 OCTOBER 2025  
 REVISED: \_\_\_\_\_  
 REVISED: \_\_\_\_\_  
 REVISED: \_\_\_\_\_  
 REVISED: \_\_\_\_\_  
 DRAWN BY: GG WSA  
 CHECKED BY: \_\_\_\_\_  
 PHASE: CONDITIONAL USE PERMIT DRAWINGS

22003 - A

TITLE: REVISED PLAN

SHEET: A1.01



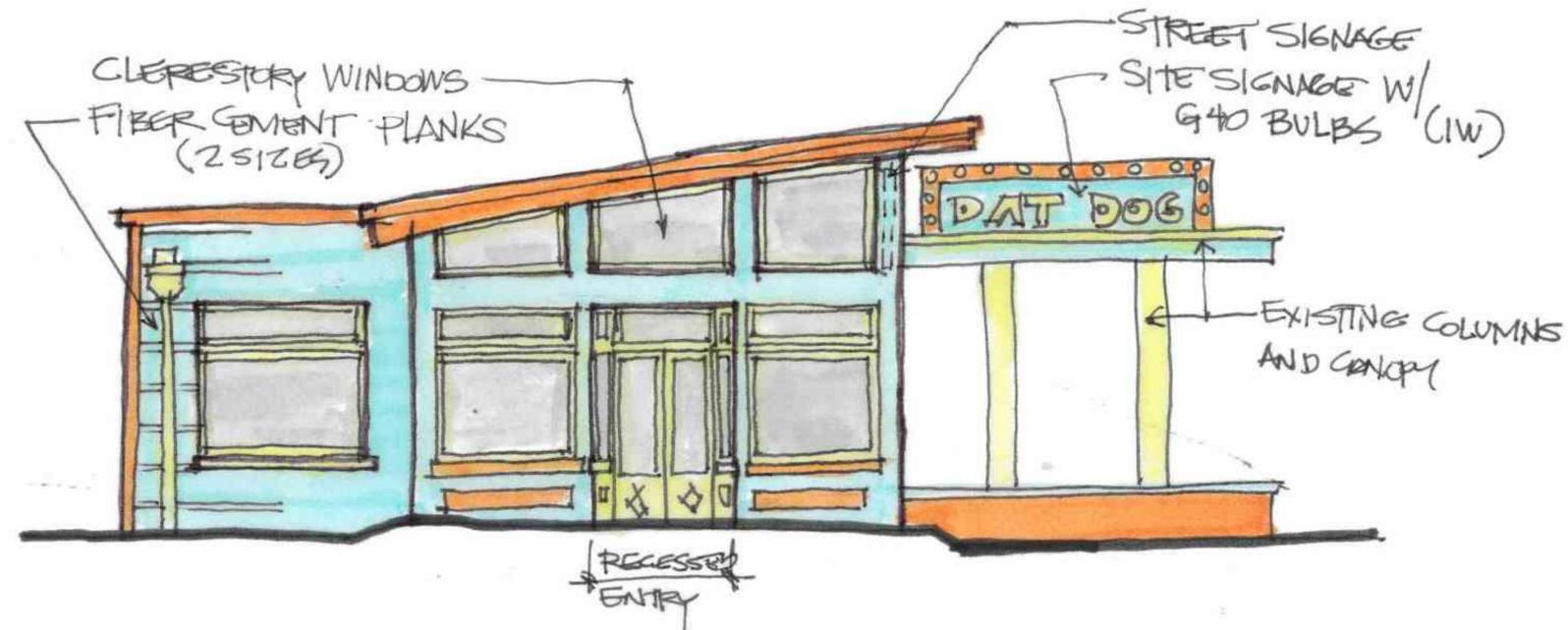
DAT DOG - FRERET  
RENOVATION

DATE ISSUED: 20 OCTOBER 2025  
REVISED:  
REVISED:  
REVISED:  
REVISED:  
DRAWN BY: GG WSA  
CHECKED BY:  
PHASE:  
CONDITIONAL USE  
PERMIT DRAWINGS

22003 - A

TITLE:  
SKETCHED  
ELEVATIONS

SHEET:  
A2.01



FRERET ST. ELEVATION





DAT DOG - FRERET  
RENOVATION

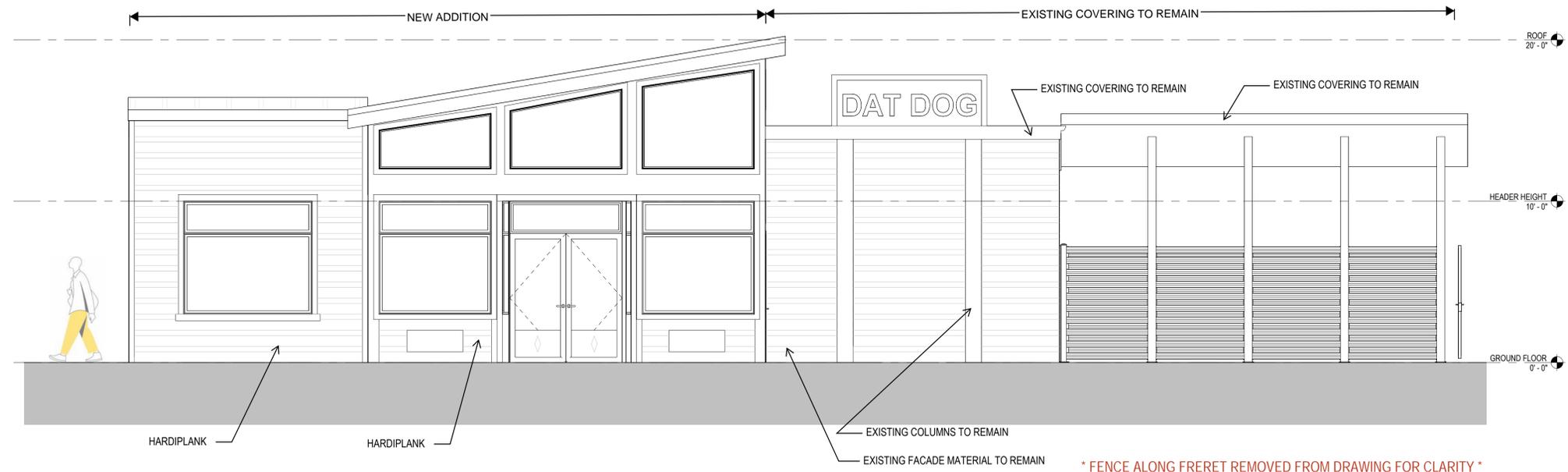
5000 FRERET ST

DATE ISSUED: 20 OCTOBER 2025  
 REVISED:  
 REVISED:  
 REVISED:  
 REVISED:  
 DRAWN BY: GG WSA  
 CHECKED BY:  
 PHASE:  
 CONDITIONAL USE PERMIT DRAWINGS

22003 - A

TITLE:  
ELEVATIONS

SHEET:  
A2.02



1 FRERET ELEVATION  
A2.02 1/4" = 1'-0"



2 SONIAT ELEVATION  
A2.02 1/4" = 1'-0"



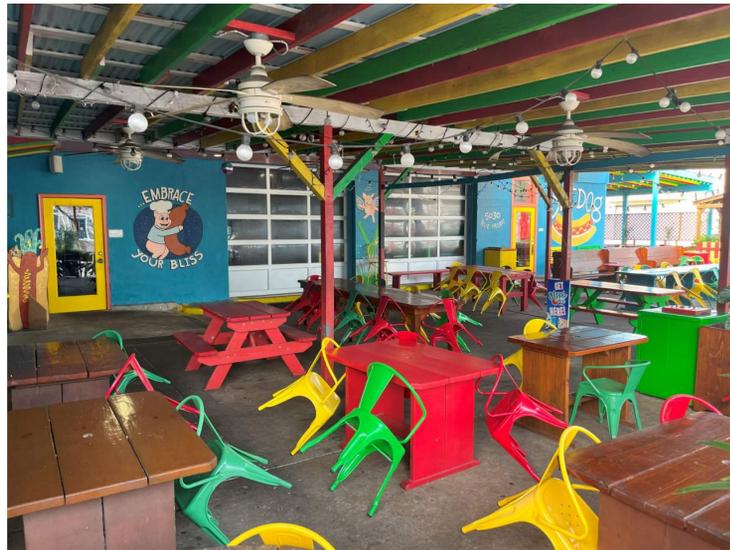
FRERET ENTRANCE AND EXTERIOR SEATING



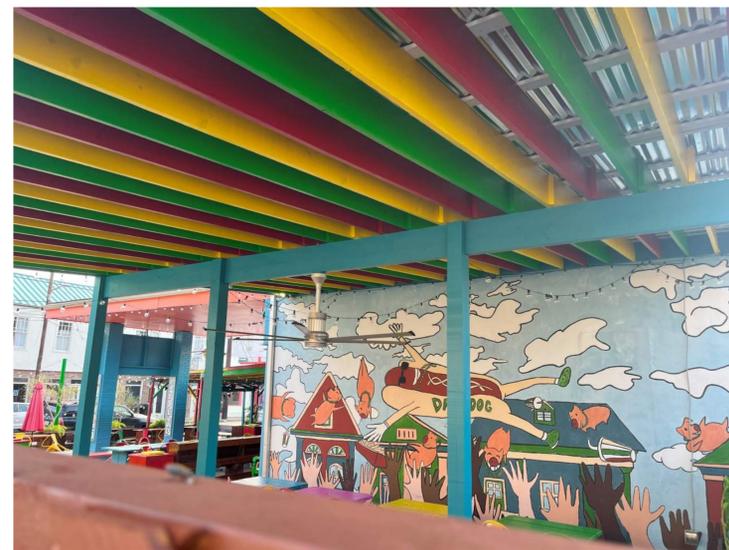
SONIAT ENTRANCE AND ROOF STRUCTURE



PERMEABLE AREA AT FRERET + SONIAT INTERSECTION



FRERET ROOF STRUCTURE ABOVE EXTERIOR SEATING



SONIAT ROOF STRUCTURE ABOVE EXTERIOR SEATING



FRERET ENTRANCE AND ROOF STRUCTURE



FRERET STREET FRONTAGE AND ROOF STRUCTURE



SONIAT STREET FRONTAGE AND ROOF STRUCTURE



UNCOVERD STORAGE AREA



DAT DOG - FRERET  
RENOVATION

DATE ISSUED: 20 OCTOBER 2025  
REVISED:  
REVISED:  
REVISED:  
REVISED:  
DRAWN BY: GG WSA  
CHECKED BY:

PHASE:  
CONDITIONAL USE  
PERMIT DRAWINGS

22003 - A

TITLE:  
PHOTOS OF EXISTING  
CONDITIONS

SHEET:

A5.00




**AN APPLICATION HAS BEEN FILED FOR A CHANGE AFFECTING THIS PROPERTY'S ZONING.**  
 FOR MORE INFORMATION, CONTACT THE NEW ORLEANS CITY PLANNING COMMISSION AT 658-7033 OR VISIT [WWW.NOLA.GOV/CPC](http://WWW.NOLA.GOV/CPC).  
DO NOT DEFACE OR REMOVE UNDER PENALTY OF LAW.

**SONIA**



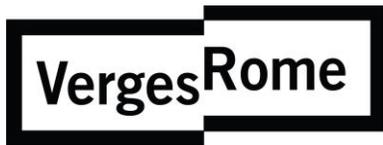
A street scene in New Orleans featuring a sidewalk cafe with colorful tables and chairs, a green utility pole, and a zoning change sign in the foreground. The street is lined with parked cars and buildings under a clear blue sky.

**AN APPLICATION HAS BEEN FILED FOR A CHANGE AFFECTING THIS PROPERTY'S ZONING.**

FOR MORE INFORMATION, CONTACT THE NEW ORLEANS CITY PLANNING COMMISSION AT 658-7033 OR VISIT [WWW.NOLA.GOV/CPC](http://WWW.NOLA.GOV/CPC).

DO NOT DEFACE OR REMOVE UNDER PENALTY OF LAW.





## **SUMMARY REPORT**

Date of Report: August 28, 2025

Project Name: Dat Dog Freret Street

Contact: Gunner Guidry, gunner@vergesrome.com, 504-488-7739, 320 N. Carrollton Avenue, New Orleans, LA 70119

### **Overview**

This report provides results of the implementation of the Neighborhood Participation Program for the property located at 5030 Freret Street on the corner of Soniat and Freret Streets. The applicant intends to file an application to apply for Conditional Use Permit. This report provides a summary of contacts with citizens, neighbors, public agencies, and interested parties. Opportunities have been provided to learn about and comment on the proposed plans and actions. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

### **Neighborhood Meeting**

The following dates and locations of all meetings where citizens were invited to discuss the applicant's proposal. No speaker cards filed out. Low attendance.

- August 28, 2025 – Dat Dog Freret, 5030 Freret Street, 6:30pm – 7:30pm, 2 people in attendance.

### **Correspondence and Telephone Calls**

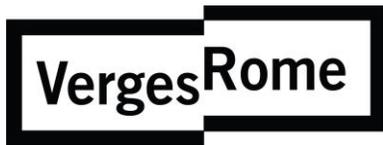
- July 30, 2025 – briefly discussed with Jason Sanchez with Rotary Club.
- August 13, 2025 – meeting notices mailed to NPP contact list and emailed to neighborhood associations and the district councilmember.

### **Results**

215 addresses were invited to the NPP meeting. 2 person-attendance

Concerns, issues, and problems expressed by attendees:

- Increased traffic in neighborhood.
- Parking on rights-of-way addressed.



### **Overall**

The neighborhood participation meeting was productive and engaging, with thoughtful input from residents. One neighbor voiced concern about parking and increased traffic. We at Verges Rome mentioned that the gross square footage of the establishment will not change and that the square footage arrangement now will stay the same. After meeting, the neighbor stayed for another 20 minutes and we chatted around a picnic table about how the neighborhood has changed since Hurricane Katrina.

VergesRome Architects

320 N. Carrollton Avenue, Suite 100, New Orleans, Louisiana 70119

VergesRome.com t.504.488.7739 f.504.488.7743



Dat Dog Enterprises, LLC

3334 Magazine Street, New Orleans, Louisiana 70115

DatDog.com t.504.324.2226

## MEETING NOTICE – DAT DOG FRERET – CONDITIONAL USE

August 1<sup>st</sup>, 2025

Dear Neighbor,

Please join Dat Dog Enterprises, LLC for a Neighborhood Participation Program (NPP) meeting regarding the property at 5030 Freret Street, New Orleans, Louisiana 70115. Please see additional meeting information below:

**Date: Thursday, August 28<sup>th</sup>, 2025**

**Time: 6:30 PM**

**Location: Dat Dog on Freret Street (5030 Freret Street, New Orleans, Louisiana 70115)**

Dat Dog Enterprises, LLC would like to enclose an existing outdoor seating area and convert it to additional conditioned space. The proposed scope requires a parking waiver, and conditional use approval.

The newly renovated Dat Dog restaurant will operate within the existing 6,800 square foot lot on a single-story. Since we are converting the outside seating to interior space, the interior restaurant space will increase from 2,365 square feet to 4,095 square feet.

5030 Freret Street is in a HU-MU Neighborhood Mixed-Use district, where a modification to a structure above 5,000 square feet warrants conditional-use approval according to Article 12, Section 12.2A (Table 12-1) of the Comprehensive Zoning Ordinance. Our application must be heard by the City Planning Commission and the City Council, and we are required to complete the NPP meeting before submitting our application to the City Planning Commission for review.

If we receive approval, we plan to start the construction May 19, 2026 and estimate the construction to take three months.

Because you are a nearby neighbor or otherwise interested in the neighborhood, we are inviting you to an NPP meeting where you can learn more about the improvements we propose and present any questions or concerns you may have. We've enclosed our site plans to give you a better idea of what we'd like to do. When you arrive at the meeting, look for the sign-in sheet so that we can help you stay updated if there are any changes to the project.

If you are unable to attend the NPP meeting and would like to receive information from the meeting, or have any additional questions or comments, please feel free to contact me.

We hope to see you at the meeting on August 28<sup>th</sup>!

Sincerely,

Steve Rome

[info@vergesrome.com](mailto:info@vergesrome.com)

504.488.7739



## MEETING AGENDA – DAT DOG FRERET – CONDITIONAL USE

Date of Meeting: August 28<sup>th</sup>, 2025

Location: Dat Dog Freret – 5030 Freret Street, New Orleans, Louisiana 70115

### I. WELCOME

- Introduction of speakers and their connection to the project
- Tour of the proposed renovation space
- Site Plan provided in attendee package
- Complete copy of the Comprehensive Zoning Ordinance article that pertains to the property's current and future zoning district included in handout package

### II. PROJECT DESCRIPTION

- Specific sections from the Comprehensive Zoning Ordinance that pertain to our proposal discussed
- Existing condition drawings presented and compared to the proposed design
- Breakdown of the square footages
- Statement of required waivers required and applicable
- Proposal's impact on the neighborhood (including trash management and proposed lighting design)

### III. PUBLIC COMMENT

- Hearing of public comments and concerns
- Responses to specific public comments and concerns from Contractor, Architect, and Owner
- Any additional public questions or comments heard

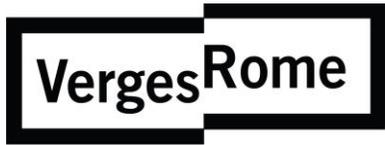
### IV. SUMMARY

- Comments and suggestions will be addressed, unless we need to gather more information. In that case, we will follow up with a question-and-answer response email to the full contact list generated from the sign-in sheet that will be present at the NPP meeting

### V. NEXT STEPS

- Project timeline presented for neighborhood community awareness
- Submission of the application will occur no more than 180 days from the date of the NPP meeting
- CPC Online Tools Handout provided, including NoticeMe signup instructions





Neighborhood Participation Program

August 28, 2025

7pm

**Dat Dog Freret – Comment Card Summary**

No Comments

## Dat Dog Freret - Conditional Use Permit

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**From** Gunner Guidry <gunner@vergesrome.com>

**Date** Tue 7/15/2025 10:55 AM

**To** neighborsunited.listserve@gmail.com <neighborsunited.listserve@gmail.com>

**Cc** Steve Rome <steve@vergesrome.com>; Jed Manning <jed@vergesrome.com>

Stan et al:

On behalf of Dat Dog Freret, we're exploring a potential Conditional Use Permit. As you know, a major portion of the existing restaurant is not conditioned. We are simply looking to enlarge the conditioned space without enlarging the footprint.

We would like to discuss the project soon at one of the next neighborhood meetings. Let us know the schedule and we'll make it happen.

Thanks!

**Gunner Guidry**  
**VergesRome Architects, APAC**

320 N. Carrollton Avenue, Suite 100

New Orleans, Louisiana 70119

504.488.7739 office ext 3620

[www.vergesrome.com](http://www.vergesrome.com)



Outlook

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**Re: 5030 Freret Street - Dat Dog Renovation**

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**From** Gunner Guidry <gunner@vergesrome.com>  
**Date** Wed 7/30/2025 12:34 PM  
**To** Jason Sanchez <JasonSanchez@metal-dog.com>

Thank you, Jason.

**Gunner Guidry**  
**VergesRome Architects, APAC**

320 N. Carrollton Avenue, Suite 100  
New Orleans, Louisiana 70119  
504.488.7739 office ext 3670  
[www.vergesrome.com](http://www.vergesrome.com)

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**From:** Jason Sanchez <JasonSanchez@metal-dog.com>  
**Sent:** Wednesday, July 30, 2025 12:29 PM  
**To:** Gunner Guidry <gunner@vergesrome.com>  
**Cc:** Steve Rome <steve@vergesrome.com>; Jed Manning <jed@vergesrome.com>  
**Subject:** RE: 5030 Freret Street - Dat Dog Renovation

**Caution:** This is an external email. Please take care when clicking links or opening attachments especially when you are not expecting to receive an email. We will always speak with you directly to reset passwords. When in doubt, contact [Network Alchemist Support](#) for help.

Gunter, Steve, Jed:

I have forwarded your message to the current President of the Rotary Club of New Orleans Riverbend, Tim Paulin. You should be hearing from him. As I am not sitting on the board of the club this year, it is probably best you have input from those who are able to commit the club to a position.

With kind regards,

Jason Sanchez  
Rotary Club of New Orleans Riverbend  
Charter Founder, Club President 2023-24  
(504) 520-9484 mobile

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**From:** Gunner Guidry <gunner@vergesrome.com>  
**Sent:** Wednesday, July 30, 2025 10:55 AM  
**To:** Jason Sanchez <JasonSanchez@metal-dog.com>  
**Cc:** Steve Rome <steve@vergesrome.com>; Jed Manning <jed@vergesrome.com>  
**Subject:** Re: 5030 Freret Street - Dat Dog Renovation

Hey Jason, see the email below. Let us know when you can meet to discuss the Dat Dog renovation.

Thx

**Gunner Guidry**  
**VergesRome Architects, APAC**

320 N. Carrollton Avenue, Suite 100  
New Orleans, Louisiana 70119  
504.488.7739 office ext 3670  
[www.vergesrome.com](http://www.vergesrome.com)

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**From:** Gunner Guidry <[gunner@vergesrome.com](mailto:gunner@vergesrome.com)>  
**Sent:** Wednesday, July 23, 2025 2:21 PM  
**To:** [JasonSanchez@metal-dog.com](mailto:JasonSanchez@metal-dog.com) <[JasonSanchez@metal-dog.com](mailto:JasonSanchez@metal-dog.com)>  
**Cc:** Steve Rome <[steve@vergesrome.com](mailto:steve@vergesrome.com)>; Jed Manning <[jed@vergesrome.com](mailto:jed@vergesrome.com)>  
**Subject:** 5030 Freret Street - Dat Dog Renovation

Morning Jason

We at VergesRome have been contracted to help the owner of Dat Dog with the renovation of their restaurant on Freret. Because the total renovation area exceeds 5,000 square feet, a Conditional Use Permit is required. As part of this land-use request, we are expected to engage with the neighborhood. Before scheduling the formal community meeting, we would like to meet with your organization to discuss the proposed changes and ensure transparency.

Please let us know a convenient time to connect.

**Gunner Guidry**  
**VergesRome Architects, APAC**

320 N. Carrollton Avenue, Suite 100  
New Orleans, Louisiana 70119  
504.488.7739 office ext 3620  
[www.vergesrome.com](http://www.vergesrome.com)



Outlook

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## 5030 Freret Meeting [In-person]

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**Organizer** Elizabeth D Holman <elizabeth.holman@nola.gov>  
**Meeting time** This event occurred 3 months ago (Tue 7/22/2025 12:00 PM - 12:30 PM)  
**Location** New Orleans City Hall (1300 Perdido St, New Orleans, LA, 70112, United States)  
**My response** Accepted  
**Required attendees** Elizabeth D Holman, Gunner Guidry, Steve Rome, Jed Manning  
**Message sent** Thu 7/17/2025 10:36 AM

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Some people who received this message don't often get email from elizabeth.holman@nola.gov. [Learn why this is important](#)

City Hall office, room 2W10 on the second floor  
check-in in the Council lobby

**PROPERTY OWNERS AND OCCUPANTS WITHIN 300 FEET**

Name	Mailing Address	Mailing City	Mailing St	Mailing Zip
2003 Realty Company LLC	15384 5th St	Gulfport	MS	39505
5001 Freret Street LLC	115 Rosa L Parks Blvd	Nashville	TN	37203
5018 Freret Street LLC	11221 Whiteside Rd	New Orleans	LA	70128
5104 Freret Street LLC	97 Hummingbird Rd	Covington	LA	70433
Abbott Hope	ET Al 2216 Robert St	New Orleans	LA	70115
Alice R Richardson	5022 Lasalle St	New Orleans	LA	70115
Amaralize G Dejoie	8040 S Yates Blvd	Chicago	IL	60617
Barbara M Stewart	ET Al 10240 Brookfield Dr	New Orleans	LA	70127
Benjamin A Jelin	2336 Robert St	New Orleans	LA	70115
Brasseux Barnaby Lair Jr	5113 Lasalle St	New Orleans	LA	70115
Brichetto Matthew Paul	12 Marlborough Gate Pl	New Orleans	LA	70115
Bryan Wilson	2339 Soniat St	New Orleans	LA	70115
Calder Womble Tillett	2314 Soniat St	New Orleans	LA	70115
Calvin Coleman	2214 Robert St	New Orleans	LA	70115
Chapman Norwood Jr Chapman Elaine	2200 Robert St	New Orleans	LA	70115
Christopher B Lambert	2311 Soniat St	New Orleans	LA	70115
Christopher M Reznik	2222 Robert St	New Orleans	LA	70115
Claudia T Marshall	ET Al 2330 Soniat St	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl Apt A	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl Apt B	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl Apt C	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl Apt D	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl Apt E	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl Apt F	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl Apt G	New Orleans	LA	70115
Current Resident	11 Marlborough Gate Pl Apt H	New Orleans	LA	70115
Current Resident	2100 Soniat St	New Orleans	LA	70115
Current Resident	2110 Soniat St	New Orleans	LA	70115
Current Resident	2136 Robert St	New Orleans	LA	70115
Current Resident	2137 Soniat St	New Orleans	LA	70115
Current Resident	2138 Robert St	New Orleans	LA	70115
Current Resident	2139 Soniat St	New Orleans	LA	70115
Current Resident	2201 Soniat St	New Orleans	LA	70115
Current Resident	2203 Soniat St	New Orleans	LA	70115
Current Resident	2203 Valmont St	New Orleans	LA	70115
Current Resident	2204 Soniat St	New Orleans	LA	70115
Current Resident	2205 Soniat St	New Orleans	LA	70115
Current Resident	2205 Valmont St	New Orleans	LA	70115
Current Resident	2206 Soniat St	New Orleans	LA	70115
Current Resident	2207 Soniat St	New Orleans	LA	70115
Current Resident	2208 Robert St	New Orleans	LA	70115
Current Resident	2208 Soniat St	New Orleans	LA	70115
Current Resident	2210 Soniat St	New Orleans	LA	70115
Current Resident	2211 Soniat St	New Orleans	LA	70115
Current Resident	2211 Valmont St	New Orleans	LA	70115
Current Resident	2212 Soniat St	New Orleans	LA	70115
Current Resident	2213 Valmont St	New Orleans	LA	70115
Current Resident	2214 Soniat St	New Orleans	LA	70115
Current Resident	2215 Robert St	New Orleans	LA	70115
Current Resident	2215 Soniat St	New Orleans	LA	70115
Current Resident	2216 Robert St	New Orleans	LA	70115
Current Resident	2216 Soniat St	New Orleans	LA	70115

Current Resident	2217 Soniat St	New Orleans	LA	70115
Current Resident	2218 Robert St	New Orleans	LA	70115
Current Resident	2218 Soniat St	New Orleans	LA	70115
Current Resident	2219 Valmont St	New Orleans	LA	70115
Current Resident	2220 Robert St	New Orleans	LA	70115
Current Resident	2220 Soniat St	New Orleans	LA	70115
Current Resident	2222 Soniat St	New Orleans	LA	70115
Current Resident	2223 Soniat St	New Orleans	LA	70115
Current Resident	2224 Soniat St	New Orleans	LA	70115
Current Resident	2226 Soniat St	New Orleans	LA	70115
Current Resident	2227 Valmont St	New Orleans	LA	70115
Current Resident	2231 Dufossat St	New Orleans	LA	70115
Current Resident	2239 Dufossat St	New Orleans	LA	70115
Current Resident	2239 Robert St	New Orleans	LA	70115
Current Resident	2239 Soniat St	New Orleans	LA	70115
Current Resident	2301 Robert St	New Orleans	LA	70115
Current Resident	2301 Soniat St	New Orleans	LA	70115
Current Resident	2305 Soniat St	New Orleans	LA	70115
Current Resident	2305 Valmont St	New Orleans	LA	70115
Current Resident	2307 Robert St	New Orleans	LA	70115
Current Resident	2307 Soniat St	New Orleans	LA	70115
Current Resident	2307 Valmont St	New Orleans	LA	70115
Current Resident	2309 Robert St	New Orleans	LA	70115
Current Resident	2310 Soniat St	New Orleans	LA	70115
Current Resident	2310 Soniat St Apt A	New Orleans	LA	70115
Current Resident	2310 Soniat St Apt B	New Orleans	LA	70115
Current Resident	2310 Soniat St Apt C	New Orleans	LA	70115
Current Resident	2311 Valmont St	New Orleans	LA	70115
Current Resident	2313 Robert St	New Orleans	LA	70115
Current Resident	2313 Soniat St	New Orleans	LA	70115
Current Resident	2315 Robert St	New Orleans	LA	70115
Current Resident	2315 Soniat St	New Orleans	LA	70115
Current Resident	2317 Robert St	New Orleans	LA	70115
Current Resident	2317 Soniat St	New Orleans	LA	70115
Current Resident	2318 Soniat St	New Orleans	LA	70115
Current Resident	2319 Robert St	New Orleans	LA	70115
Current Resident	2319 Soniat St	New Orleans	LA	70115
Current Resident	2320 Robert St	New Orleans	LA	70115
Current Resident	2320 Soniat St	New Orleans	LA	70115
Current Resident	2322 Soniat St	New Orleans	LA	70115
Current Resident	2323 Valmont St	New Orleans	LA	70115
Current Resident	2325 Soniat St	New Orleans	LA	70115
Current Resident	2329 Soniat St	New Orleans	LA	70115
Current Resident	2330 Soniat St	New Orleans	LA	70115
Current Resident	2336 Robert St	New Orleans	LA	70115
Current Resident	2337 Soniat St	New Orleans	LA	70115
Current Resident	4925 Freret St	New Orleans	LA	70115
Current Resident	4925 La Salle St	New Orleans	LA	70115
Current Resident	4929 Freret St	New Orleans	LA	70115
Current Resident	4938 Freret St	New Orleans	LA	70115
Current Resident	4941 La Salle St	New Orleans	LA	70115
Current Resident	5000 La Salle St	New Orleans	LA	70115
Current Resident	5001 Freret St	New Orleans	LA	70115
Current Resident	5001 Freret St Ste A	New Orleans	LA	70115
Current Resident	5001 Freret St Ste B	New Orleans	LA	70115

Current Resident	5001 La Salle St	New Orleans	LA	70115
Current Resident	5007 Freret St	New Orleans	LA	70115
Current Resident	5010 Freret St	New Orleans	LA	70115
Current Resident	5010 S Robertson St	New Orleans	LA	70115
Current Resident	5012 Freret St	New Orleans	LA	70115
Current Resident	5014 Freret St	New Orleans	LA	70115
Current Resident	5015 La Salle St	New Orleans	LA	70115
Current Resident	5016 Freret St Apt A	New Orleans	LA	70115
Current Resident	5016 Freret St Apt B	New Orleans	LA	70115
Current Resident	5016 La Salle St	New Orleans	LA	70115
Current Resident	5017 La Salle St	New Orleans	LA	70115
Current Resident	5018 Freret St	New Orleans	LA	70115
Current Resident	5018 La Salle St	New Orleans	LA	70115
Current Resident	5019 La Salle St	New Orleans	LA	70115
Current Resident	5021 La Salle St	New Orleans	LA	70115
Current Resident	5022 La Salle St	New Orleans	LA	70115
Current Resident	5024 La Salle St	New Orleans	LA	70115
Current Resident	5025 La Salle St	New Orleans	LA	70115
Current Resident	5025 La Salle St A	New Orleans	LA	70115
Current Resident	5030 Freret St	New Orleans	LA	70115
Current Resident	5031 Freret St	New Orleans	LA	70115
Current Resident	5032 La Salle St	New Orleans	LA	70115
Current Resident	5033 Freret St	New Orleans	LA	70115
Current Resident	5033 Freret St Apt 2A	New Orleans	LA	70115
Current Resident	5035 Freret St	New Orleans	LA	70115
Current Resident	5037 Freret St	New Orleans	LA	70115
Current Resident	5039 Freret St	New Orleans	LA	70115
Current Resident	5041 Freret St	New Orleans	LA	70115
Current Resident	5100 Freret St	New Orleans	LA	70115
Current Resident	5100 La Salle St	New Orleans	LA	70115
Current Resident	5101 Freret St	New Orleans	LA	70115
Current Resident	5103 Freret St	New Orleans	LA	70115
Current Resident	5104 Freret St	New Orleans	LA	70115
Current Resident	5105 Freret St	New Orleans	LA	70115
Current Resident	5108 Freret St	New Orleans	LA	70115
Current Resident	5110 Freret St	New Orleans	LA	70115
Current Resident	5112 Freret St	New Orleans	LA	70115
Current Resident	5112 Freret St Ste 1A	New Orleans	LA	70115
Current Resident	5112 Freret St Ste 2A	New Orleans	LA	70115
Current Resident	5113 La Salle St	New Orleans	LA	70115
Current Resident	5120 Freret St	New Orleans	LA	70115
Current Resident	5128 Freret St	New Orleans	LA	70115
Current Resident	5132 Freret St	New Orleans	LA	70115
Cynthia J Weisinger	2321 Valmont St	New Orleans	LA	70115
Dat Dogs Enterprises LLC dba Dat Dogs	527 St Ann St	New Orleans	LA	70116
Depauw William D Jr Stegman Rachael H	2217 Valmont St	New Orleans	LA	70115
Dragon Enterprises LLC	525 E Main St Apt 6	New Iberia	LA	70560
Edward G Williams	Etal 2205 Valmont St	New Orleans	LA	70115
Edward Nebedum	Etal 2221 Feather Rock	Diamond Bar	CA	91765
Eric C Nash	5018 Lasalle St	New Orleans	LA	70115
Fagan Shannon Glenn Jr	2200 Soniat St	New Orleans	LA	70115
Freret Development LLC	5007 Freret St 5007 Freret St	New Orleans	LA	70115
Freret Hardware Inc	5109 Freret St	New Orleans	LA	70115
Freret Stop Property LLC	4927 Freret St	New Orleans	LA	70115
Freret Street Landowners Association Inc	C/O Robert R Hallas Jr 5858 N	New Orleans	LA	70124

Garett A Majoue	2327 Soniat St	New Orleans	LA	70115
Gasparre Julius John Jr	Etal 2336 Robert St	New Orleans	LA	70115
George Jr Chaney	2332 Soniat St	New Orleans	LA	70115
Gerard M Victor	2315 Valmont St	New Orleans	LA	70115
Gonzales Nicholas Bauner	ET Al 2319 Robert Street	New Orleans	LA	70115
Hardwareinc Freret	5109 Freret St	New Orleans	LA	70115
Jason A Stern	250 Pine St	New Orleans	LA	70118
Javelin Associates LLC	1055 St Charles Ave Suite 70	New Orleans	LA	70130
Jesse Daniels	ET Al 2320 Robert St	New Orleans	LA	70115
Jimmy Song LLC	11201 Old Spanish Trl	New Orleans	LA	70128
JMT Field LLC	11201 Old Spanish Trl	New Orleans	LA	70128
Jonathan Stoll	5015 Lasalle St	New Orleans	LA	70115
Joseph E Dedais	5219 Constance St	New Orleans	LA	70115
Joseph Henican Babington	Etals 922 Toledano St	New Orleans	LA	70115
Kristopher A Khalil	2225 Soniat St	New Orleans	LA	70115
Kristopher Aaron Khalil	2219 Soniat St	New Orleans	LA	70115
Le Cai T Le Loan Kim	10941 N Hardy St	New Orleans	LA	70127
Letha M Mathews	3618 Cambaronne St	New Orleans	LA	70118
Lobell Thomas Derek	5008 S Robertson St	New Orleans	LA	70115
M & T Freret St Investments LLC	5130 Freret St	New Orleans	LA	70115
Marengo Investments LLC	2708 General Pershing St	New Orleans	LA	70115
Maria E Hayes	ET Al 2317 Soniat St	New Orleans	LA	70115
Mary C Wichers	2201 Valmont St	New Orleans	LA	70115
Michael J Howard	2135 Soniat St	New Orleans	LA	70115
Michael R Primeau	10 Marlborough Gate Pl	New Orleans	LA	70115
Michele Ligon McClure Beelman	4514 Bancroft Dr	New Orleans	LA	70122
Omd LLC	524 Metairie Rd	Metairie	LA	70005
Patricia A Ward	2209 Valmont St	New Orleans	LA	70115
Pensco Trust Company Custodian Fbo Maria Teresa G	P O Box 173859	Denver	CO	80217
Philip B Cooke	2225 Valmont St	New Orleans	LA	70115
Quarter Twain LLC	500 Crystal St	New Orleans	LA	70124
Richardson Latosha Demetrius	2316 Soniat St	New Orleans	LA	70115
Riverbend Properties 1 LLC	4820 Chestnut St	New Orleans	LA	70115
Riverbend Properties 5 LLC	4820 Chestnut St	New Orleans	LA	70115
Robert 22 LLC	631 Elysian Fields Ave	New Orleans	LA	70117
Robert Last	62 Newport Dr	Hewlett	NY	11557
Ruth L Thompson	5014 La Salle St	New Orleans	LA	70115
Saucier Scott Anthony	2326 Robert St	New Orleans	LA	70115
SSJ Investments Freret LLC	2022 Jefferson Ave	New Orleans	LA	70115
Sylvia Porche Johnson	ET Al 2819 Paris Ave	New Orleans	LA	70119
The Bendana L L C	7823 Jeannette St	New Orleans	LA	70118
The City Of New Orleans	1300 Perdido St Room 5W17	New Orleans	LA	70112
The Jennifer Louise Bent Trust	8 Stage Coach Rd	Lebanon	NH	03766
Thomas Alexander	5000 Freret St	New Orleans	LA	70115
Thomas J Alexander	5000 Freret St	New Orleans	LA	70115
Timothy P Craven	6241 Perlita Dr	New Orleans	LA	70122
Tommie N Sr Sims	2227 Soniat St	New Orleans	LA	70115
Udoka Lois Ann H	C/O Great River 24 LLC P O B	Atlanta	GA	30353
Velma J Aiola	4920 S Liberty St	New Orleans	LA	70115
Waters Andrew	2201 Robert St	New Orleans	LA	70115
Willie A Jefferson	PO Box 871042	New Orleans	LA	70187
Zadok Properties LLC	3925 Iberville St	New Orleans	LA	70119

## Neighborhood Org(s)

Organization Name: Freret - Milan Neighbors United

Point of Contact: Stan Norwood

Phone Number: 504-723-9361

Email: neighborsunited.listserve@gmail.com

Street Address: 2015 Valence Street

City: New Orleans

Zip: 70115

## Council Member

District B- Lesli Harris

Lesli.Harris@nola.gov

Phone: (504) 658-1020

Fax: (504) 658-1025

City Hall, Room 2W10

1300 Perdido Street

New Orleans, LA 70112

## City Planning Commission

Phone: (504) 658-7033

Email: CPCinfo@nola.gov



Buffer

# PUBLIC SPEAKING CARD FOR LAND USE MATTERS

(please print clearly)

Date: 12-9-25

Presiding Officer: \_\_\_\_\_

I would like to speak regarding 20 66/25

In Support

In Opposition

Info. Only

Name: Editha Amacher (A-ma-ker)

Representing: Self

Address: 4919 South Robertson St.

NOLA 70115

Remarks: \_\_\_\_\_

AM-  
MA-  
KER

(Please see speaker time rules on reverse of card)

Your signature required on the back hereof is certification that your statement is true and correct and an opportunity to acknowledge whether or not you have been compensated in exchange for your statement or attendance

# PUBLIC SPEAKING CARD FOR LAND USE MATTERS

(please print clearly)

Date:

12/9/25

Presiding Officer:

DATOG

I would like to speak regarding \_\_\_\_\_

In Support     In Opposition     Info. Only

Name: GUNNAR GUIDRY  
Representing: VERGES HOME ARCHITECTS  
Address: 320 N CARROLLTON AVE

Remarks: \_\_\_\_\_  
\_\_\_\_\_

(Please see speaker time rules on reverse of card)  
Your signature required on the back hereof is certification that your statement is true and correct and an opportunity to acknowledge whether or not you have been compensated in exchange for your statement or attendance



Received by _____
Sign Provided <input type="radio"/> Date _____
Tracking Number _____

## LAND-USE REQUEST APPLICATION

### LAND-USE PROCESS

APPLICANT RESPONSIBILITIES	CITY ACTIONS	NOTES
Schedule a pre-application conference with the CPC staff.		The applicant or agent must meet with CPC staff to review the application.
Perform NPP Outreach		Staff will explain requirements including Neighborhood Participation Program outreach in pre-app meeting: <a href="https://www.nola.gov/city-planning/neighborhood-participation-program/">https://www.nola.gov/city-planning/neighborhood-participation-program/</a>
Submit Application to CPC Staff.	Review application/Return if incomplete and provide applicant with sign	All applications must be completed before being assigned a zoning docket number.
	Initiate legally required advertising of request.	Request is advertised 3 times in the newspaper and signs are posted in the vicinity of the request site.
Review staff's report prior to the public hearing.	CPC staff prepares a report of your request and forwards it to the Commission and petitioner.	Staff report on your request is forwarded to the Commission and to you prior to the Public Hearing.
Attend CPC Public Hearing.	Public Hearing is held approximately 6 weeks after a complete, correct application is received.	Proponents and opponents are allowed to address concerns and issues at the public hearing.
	CPC recommendation is forwarded to the City Council with a suggested hearing date.	The staff report (inc. CPC recommendation) is sent to the City Council. The Council schedules a hearing date.
	Petitioner and those who spoke at the CPC Hearing are notified by the Clerk of Council of hearing	Clerk of Council notifies proponents and opponents of the scheduled hearing date, ~ 10 days prior to hearing.
Attend City Council Public Hearing (City Hall-City Council Chambers).	City Council takes action	If Council votes for denial, the process ends here. If Council votes for approval, the Council will instruct the City Attorney's Office to prepare an ordinance. Once introduced, the ordinance must lay over for 21 days before it can be adopted. After adoption, the Mayor signs the ordinance.

*If no site plan or title restriction is required, submit your application for permitting.*

*If title restrictions are required, submit recorded title restrictions per ordinance to the CPC (and Safety & Permits when applying for permits.)*

<b>If site plans are required,</b> revised final plans must be submitted to CPC staff within 1 year final ordinance date.	CPC staff verifies compliance, and will approve the drawings.	The final site plans must contain all required information, including all Waivers & Provisos from the Final Ordinance must be listed on the title page.
Take 5 copies of the Final CPC Staff-approved plans for recordation Office of Conveyances.	CPC staff will give the applicant one copy of the approved drawings and the transmittal letter authorizing the recordation to the applicant.	CPC staff will notify the applicant when the final plans have been signed.
After recordation, the applicant must resubmit 1 recorded copy to CPC & Safety & Permits.	CPC staff will collect one (1) copy of the recorded plans.	Once plans have been recorded, the CPC staff is legally authorized to change the Zoning Map.

### LAND-USE FEE SCHEDULE

- |  |   |  |
|--|---|--|
| <p><input type="radio"/> Zoning Change:</p> <ul style="list-style-type: none"> <li>• Lots 0-4,999 sq ft \$1,000</li> <li>• Lots 5,000-24,999 sq ft \$2,000</li> <li>• Lots 25,000-74,999 sq ft \$3,000</li> <li>• Lots 75,000 sq ft or more \$4,000</li> </ul> | <p><input type="radio"/> Conditional Use/Planned Development:</p> <ul style="list-style-type: none"> <li>• Structures between 0-4,999 sq ft \$1,160</li> <li>• Structures between 5,000-24,999 sq ft \$2,320</li> <li>• Structures between 25,000-74,999 sq ft \$3,480</li> <li>• Structures of 75,000 sq ft or more \$4,640</li> </ul> | <p><input type="radio"/> Conditional Use Established Two-Family, Multi-Family, and Townhouse Dwellings:</p> <ul style="list-style-type: none"> <li>• No increase in floor area \$500</li> <li>• Increase in floor area \$700</li> </ul> <p><input type="radio"/> Text Amendment: \$1,500</p> |
|--|---|--|



Received by _____
Sign Provided <input type="radio"/> Date _____
Tracking Number _____

## LAND-USE REQUEST APPLICATION

Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov) or in person at 1300 Perdido St., 7th Floor, New Orleans, LA 70112. Incomplete applications will not be accepted and will be returned to the applicant.

ATTACHMENTS	TEXT AMENDMENT	ZONING CHANGE	CONDITIONAL USE/PLANNED DEVELOPMENT
<input checked="" type="checkbox"/> Completed application with all required information & signed by owner or authorized agent.	Required	Required	Required
<input checked="" type="checkbox"/> <b>Authorization from Property Owner.</b> If ownership is joint, each owner must be listed. If ownership is a partnership, the Partnership Agreement must be included. If ownership is a corporation, Articles of Incorporation (full document filed with the Secretary of State) and a Board Resolution authorizing an individual or agent to sign on its behalf must be included. If ownership is a LLC, Articles of Organization (full document filed with the Secretary of State) and legal documentation authorizing an individual or agent to sign on its behalf must be included. If necessary, submit proof of ownership documents, such as copies of the recorded act of sale, act of exchange, act of donation, cash sale or deed.		Required	Required
<input checked="" type="checkbox"/> <b>Accurate survey or legal description</b> showing or describing the legal boundaries of the site.		Required	Required
<input checked="" type="checkbox"/> <b>Photographs</b> of the subject site(s) and building(s).		Required	Required
<input checked="" type="checkbox"/> <b>Neighborhood Participation Program Documents</b> including NPP summary report, contact list, NPP meeting invitation, NPP comment cards, neighborhood email notices, and meeting sign-in sheet. Refer to the Neighborhood Participation Guide for more information.	Required	Required	Required
<input checked="" type="checkbox"/> <b>Site Plan</b> of the entire lot(s) showing property lines and all buildings or structures, with distance from property line indicated. All off-street parking areas, driveways, interior streets, paving, mechanical equipment, or other surfaces should be shown and dimensioned on the plans.			Required
<input checked="" type="checkbox"/> <b>Landscape Plans</b> including the location, quantity, size, name, and condition of all existing and proposed plant materials and trees. All landscaped areas should be shown and dimensioned on the plans. A description of all tree preservation measures on-site and in the public right-of-way should be included.			Required
<input checked="" type="checkbox"/> <b>Architectural Elevations</b> of each side of the proposed structure(s) indicating height, architectural elements such as windows, doors, materials, textures, and other information.			Required
<input checked="" type="checkbox"/> <b>Floor Plan(s)</b> of the entire structure(s) showing room use, dimensions, walls, doors, windows, major appliances, plumbing fixtures, stairs, or other egress.			Required
<input type="checkbox"/> <b>Recommendations or approvals</b> from HDLC, or VCC, or City Council (regarding demolition), where applicable.			May Be Required
<input type="checkbox"/> <b>Design Advisory Committee (DAC) Recommendation</b> , when required by Article 4, Section 4.5.B of the Comprehensive Zoning Ordinance.			May Be Required



Building/Construction  
Related Permit



Received by _____
Sign Provided <input type="radio"/> Date _____
Tracking Number _____

## LAND-USE REQUEST APPLICATION

Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov) or in person at 1300 Perdido St., 7th Floor, New Orleans, LA 70112. Incomplete applications will not be accepted and will be returned to the applicant.

Type of application:     Text Amendment     Zoning Change     Conditional Use/Planned Development

Address of Property for which this application is being filed.    5030 Freret Street, New Orleans, LA 70115

### APPLICANT INFORMATION

Applicant Identity:     Property Owner     Agent

Applicant Name    Steve Rome - VergesRome Architects

Applicant Address    320 N. Carrollton Avenue, Suite 100

City    New Orleans    State    LA    Zip    70119

Applicant Contact Number    504 488 7739    Email    steve@vergesrome.com

### PROPERTY OWNER INFORMATION    SAME AS ABOVE

Property Owner Name    Constantine George dba Dat Dog Enterprises LLC

Property Owner Address    3334 Magazine Street

City    New Orleans    State    LA    Zip    70115

Property Owner Contact Number    504 415 7210    Email    kosti@bellsouth.net

### SPECIFIC ZONING REQUEST

Waivers: 1. Parking. Section 22.5.A.6 - Table 22-2. First 5000sf exempt. 1,806sf / 500sf = 4 parking spaces - Waived. 2. Section 12.3.A.1 - Table 12-2. Minimum Permeable Open Space: 10% of lot area: Waived.

### PROPERTY LOCATION

Square Number(s)    579    Lot Number(s)    22

Bounding Streets    Soniat St    Freret St    Robert St

Zoning    HU-MU    Municipal District    District B

Tax Bill Number    614324411    Planning District    Planning District 3

### DESCRIPTION OF PROJECT (Attachments are acceptable)

We are proposing to demo the existing covered exterior area along Freret Street only and a building new conditioned space in the exact footprint. We also are also reconfiguring the rear back-of-house and adding a small addition to "square" off the floor plan.



Received by _____
Sign Provided <input type="radio"/> Date _____
Tracking Number _____

# LAND-USE REQUEST APPLICATION

## ACKNOWLEDGMENTS

I (we) hereby affirm that ownership and property information presented on this application is current and accurate and, further, that the undersigned meet the requirements of Article 16 of the Comprehensive Zoning Ordinance to submit this application. I (we) acknowledge that inaccurate or incomplete ownership, improper authorization, or property identification will make this application and resulting actions null and void. I (we) the undersigned owner and authorized agent of the area of land described above, hereby submit for your approval the above stated request.

Owner Signature *[Signature]* Date Oct. 9, 2025

Agent Signature *[Signature]* Date 10.09.2025

If ownership is joint, each owner must be listed. If ownership is a partnership, the Partnership Agreement must be included. If ownership is a corporation, Articles of Incorporation (full document filed with the Secretary of State) and a Board Resolution authorizing an individual or agent to sign on its behalf must be included. If ownership is a LLC, Articles of Organization (full document filed with the Secretary of State) and legal documentation authorizing an individual or agent to sign on its behalf must be included. If necessary, submit proof of ownership documents, such as copies of the recorded act of sale, act of exchange, act of donation, cash sale or deed.

STATE OF LOUISIANA, PARISH OF ORLEANS

Before me, the undersigned authority, personally appeared the person(s) whose signature are affixed above, all of the full age of the majority, who declared under oath to me, Notary, that they are the owners or authorized agents of the property described above, and that their signatures were executed freely and voluntarily and that they are duly qualified to sign.

X *[Signature]*

Sworn to and subscribed before me this 9th day of October, 2025

**TRINITY M. BERGERON**  
**LA NOTARY PUBLIC ID #85785**  
**Statewide Jurisdiction**  
**Commissioned for Life**

My Commission expires \_\_\_\_\_





*Louisiana*  
**SECRETARY  
 OF STATE**  
 NANCY LANDRY

(<https://www.sos.la.gov/Pages/default.aspx>) Search for Louisiana Business Filings

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Name	Type	City	Status
DAT DOGS ENTERPRISES, LLC	Limited Liability Company	NEW ORLEANS	Active

**Previous Names**

**Business:** DAT DOGS ENTERPRISES, LLC  
**Charter Number:** 40521492K  
**Registration Date:** 5/26/2011

**Domicile Address**

3336 MAGAZINE STREET  
 NEW ORLEANS, LA 70115

**Mailing Address**

3334 MAGAZINE STREET  
 NEW ORLEANS, LA 70115

**Status**

**Status:** Active  
**Annual Report Status:** In Good Standing  
**File Date:** 5/26/2011  
**Last Report Filed:** 5/19/2025  
**Type:** Limited Liability Company

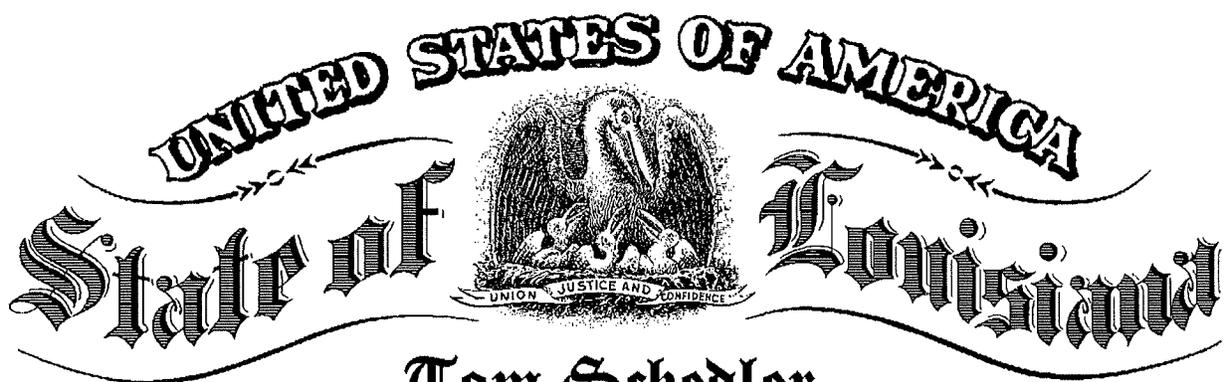
**Registered Agent(s)**

**Agent:** CONSTANTINE GEORGES  
**Address 1:** 527 ST. ANN STREET  
**City, State, Zip:** NEW ORLEANS, LA 70116  
**Appointment Date:** 5/26/2011

**Officer(s)**

**Additional Officers: No**

<b>Officer:</b>	DDG1 LLC
<b>Title:</b>	Member
<b>Address 1:</b>	527 ST. ANN ST.
<b>City, State, Zip:</b>	NEW ORLEANS, LA 70116
<b>Officer:</b>	DDG2 LLC
<b>Title:</b>	Member
<b>Address 1:</b>	701 EDWARDS AVE.
<b>City, State, Zip:</b>	ELMWOOD, LA 70123



**Tom Schedler**  
SECRETARY OF STATE

*As Secretary of State of the State of Louisiana, I do hereby Certify that*

the attached document(s) of

**DDG1, LLC**

are true and correct and are filed in the Louisiana Secretary of State's Office.

40618939K	ORIGF	9/19/2011	2 page(s)
41637695	14 AR	9/11/2014	1 page(s)

In testimony whereof, I have hereunto set my hand and caused the Seal of my Office to be affixed at the City of Baton Rouge on,

February 11, 2015

*Secretary of State*

WEB 40618939K



Certificate ID: 10570398#T9R93

To validate this certificate, visit the following web site, go to **Business Services, Search for Louisiana Business Filings, Validate a Certificate**, then follow the instructions displayed.

[www.sos.la.gov](http://www.sos.la.gov)

**STATE OF LOUISIANA  
ARTICLES OF ORGANIZATION  
(R.S. 12:1301)**

- 1. The name of this limited liability company is:** DDG1, LLC
- 2. This company is formed for the purpose of:** engaging in any lawful activity for which limited liability companies may be formed
- 3. The duration of this limited liability company is (may be perpetual):**  
PERPETUAL
- 4. Other Provisions:**  
TO BE PARTNER IN DAT DOGS ENTERPRISES, LLC AS FUNDED BY  
GEORGES

By typing my name below, I hereby certify that I am the organizer.

**Electronic Signature:** CONSTANTINE D. GEORGES (9/19/2011)

**LIMITED LIABILITY COMPANY INITIAL REPORT  
(R.S. 12:1305 (E))**

- 1. The name of this limited liability company is:** DDG1, LLC
- 2. The location and municipal address, not a post office box only, of this limited liability company's registered office:**  
  
527 ST. ANN STREET  
NEW ORLEANS, LA 70116
- 3. The full name and municipal address, not a post office box only, of each of this limited liability company's registered agent(s) is/are:**  
  
CONSTANTINE GEORGES  
527 ST. ANN STREET  
NEW ORLEANS, LA 70116
- 4. The name and municipal address, not a post office box only, of the managers or members:**

CONSTANTINE GEORGES (Manager)  
527 ST. ANN STREET  
NEW ORLEANS, LA 701116

By typing my name below, I hereby certify that I am the organizer.

**Electronic Signature:** CONSTANTINE D. GEORGES (9/19/2011)

SECRETARY OF STATE



## Agent Affidavit and Acknowledgement of Acceptance

**Charter Number:** 40618939K

**Charter Name:** DDG1, LLC

The agent / agents listed below accept the appointment of registered agent for and on behalf of the Charter Name above.

<b>Date Responded</b>	<b>Agent(s)</b>
09/19/2011	CONSTANTINE GEORGES

<b>Agent(s) Electronic Signature</b>
CONSTANTINE GEORGES

Tom Schedler  
Secretary of State



**LIMITED LIABILITY COMPANY  
ANNUAL REPORT**

For Period Ending  
9/19/2014



40618939K



2014

**Mailing Address Only** (INDICATE CHANGES TO THIS ADDRESS IN THIS BOX)

40618939 K  
DDG1, LLC  
  
527 ST. ANN STREET  
NEW ORLEANS, LA 70116

1

(INDICATE CHANGES TO THIS ADDRESS IN THIS BOX)

Registered Office Address in Louisiana  
(Do not use P. O. Box)  
527 ST. ANN STREET  
NEW ORLEANS, LA 70116

Federal Tax ID Number

Our records indicate the following registered agents for the company. Indicate any changes or deletions below. All agents must have a Louisiana address. Do not use a P. O. Box. **A**  
**NEW REGISTERED AGENT REQUIRES A NOTARIZED SIGNATURE.**

CONSTANTINE GEORGES  
527 ST. ANN STREET NEW ORLEANS, LA 70116

I hereby accept the appointment of registered agent(s).

Sworn to and subscribed before me on  
NOTARY NAME MUST BE TYPED OR PRINTED WITH NOTARY #

**New Registered Agent Signature**

**Notary Signature**

**Date**

This report reflects a maximum of three members/managers for the company. Indicate any changes or deletions below. Include a listing of all names and addresses. Do not use a P. O. Box. If additional space is needed attach an addendum. *Officer titles, such as president or secretary are not acceptable.*

CONSTANTINE GEORGES  
527 ST. ANN STREET NEW ORLEANS, LA 70116

Manager

The filing of a false public record, with the knowledge of its falsity, is a crime, subjecting the filer to the fine or imprisonment or both under R.S. 14:133.

<b>SIGN →</b>	To be signed by a manager, member, or agent CONSTANTINE D GEORGES (SIGNED ELECTRONICALLY)	Title	Phone	Date 09/11/2014
	Signee's address	Email Address kosti@bellsouth.net		(For Office Use Only)

Enclose filing fee of \$30.00

Return by: 9/19/2014

Make remittance payable to Secretary of State  
Do Not Send Cash  
Do Not Staple

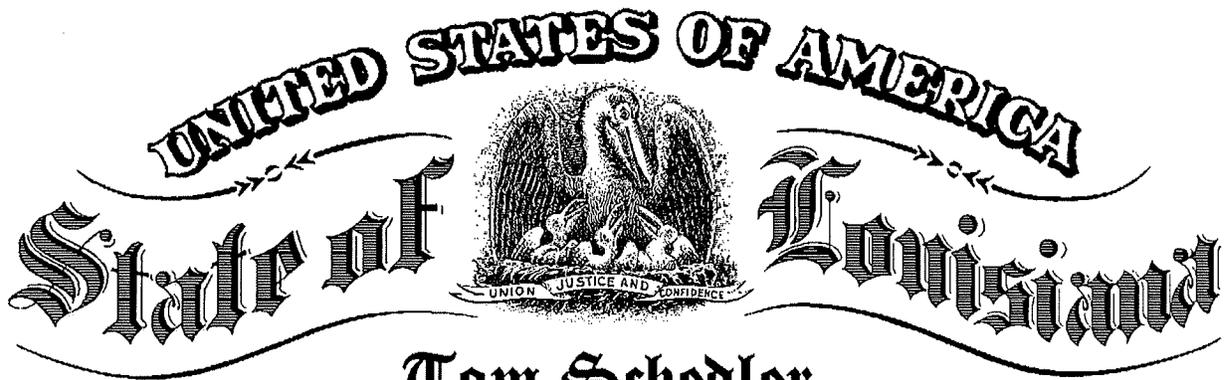
To: **Commercial Division**  
P. O. Box 94125  
Baton Rouge, LA 70804-9125  
Phone (225) 925-4704

web site: [www.sos.louisiana.gov](http://www.sos.louisiana.gov)

**DO NOT STAPLE**

1

UNSIGNED REPORTS WILL BE RETURNED



**Tom Schedler**  
SECRETARY OF STATE

*As Secretary of State of the State of Louisiana I do hereby Certify that*

the attached document(s) of

**DDG 2, LLC**

are true and correct and are filed in the Louisiana Secretary of State's Office.

40631704K	ORIGF	10/4/2011	2 page(s)
42013615	15 AR	9/15/2015	1 page(s)

In testimony whereof, I have hereunto set my hand and caused the Seal of my Office to be affixed at the City of Baton Rouge on,

November 18, 2015

*Secretary of State*

WEB 40631704K



Certificate ID: 10655750#J6Q83

To validate this certificate, visit the following web site, go to **Business Services, Search for Louisiana Business Filings, Validate a Certificate**, then follow the instructions displayed.

[www.sos.la.gov](http://www.sos.la.gov)

**STATE OF LOUISIANA  
ARTICLES OF ORGANIZATION  
(R.S. 12:1301)**

- 1. The name of this limited liability company is:** DDG 2, LLC
- 2. This company is formed for the purpose of:** engaging in any lawful activity for which limited liability companies may be formed
- 3. The duration of this limited liability company is (may be perpetual):**  
PERPETUAL
- 4. Other Provisions:**

By typing my name below, I hereby certify that I am the organizer.

**Electronic Signature:** THOMAS A. ROBICHAUX (10/4/2011)

**LIMITED LIABILITY COMPANY INITIAL REPORT  
(R.S. 12:1305 (E))**

- 1. The name of this limited liability company is:** DDG 2, LLC
- 2. The location and municipal address, not a post office box only, of this limited liability company's registered office:**

701 EDWARDS AVE.  
ELMWOOD, LA 70123

- 3. The full name and municipal address, not a post office box only, of each of this limited liability company's registered agent(s) is/are:**

WILLIAM STROUD  
701 EDWARDS AVE  
ELMWOOD, LA 70123

- 4. The name and municipal address, not a post office box only, of the managers or members:**

JOHN GEORGES (Member)  
701 EDWARDS AVE  
ELMWOOD, LA 70123

By typing my name below, I hereby certify that I am the organizer.

**Electronic Signature:** THOMAS A. ROBICHAUX (10/4/2011)

**SECRETARY OF STATE**



**Agent Affidavit and Acknowledgement of Acceptance**

**Charter Number:** 40631704K

**Charter Name:** DDG 2, LLC

The agent / agents listed below accept the appointment of registered agent for and on behalf of the Charter Name above.

<b>Date Responded</b>	<b>Agent(s)</b>	<b>Agent(s) Electronic Signature</b>
10/04/2011	WILLIAM STROUD	WILLIAM STROUD



**WRITTEN CONSENT OF THE SOLE MEMBER  
OF  
DDFRERET, LLC**

**IN LIEU OF ORGANIZATIONAL MEETING**

The undersigned, being the sole Member of DDFreret, LLC, a Louisiana limited liability company (the "Company"), does hereby adopt the following resolutions:

I. Membership Interests.

WHEREAS, Dat Dogs Enterprises, LLC, a Louisiana limited liability company ("Dat Dogs"), desires to contribute the real estate municipally known as 5030 Freret Street, New Orleans, Louisiana, as more fully described on Exhibit A attached hereto and made a part hereof, and all improvements on such real estate to the Company as its initial capital contribution to the Company in exchange for 1,000 Membership Units of the Company, being a 100% membership interest, in the Company;

NOW THEREFORE, BE IT RESOLVED, that the Company is hereby authorized to accept the real estate located at 5030 Freret Street, New Orleans, Louisiana and all improvements on such real estate from Dat Dogs as its initial capital contribution to the Company in exchange for 1,000 Membership Units of the Company, being a 100% membership interest, in the Company; and

RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized member of Dat Dogs, the sole Member of the Company, is hereby authorized and directed for and on behalf of the Company to take any such actions, and to execute and deliver such documents, certificates, agreements, filings and other instruments as he shall deem necessary or appropriate to complete the acceptance of the capital contribution from Dat Dogs, including without limitation, execution of an Act of Transfer.

II. Company Bank and Investment Accounts.

RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized member of Dat Dogs, the sole Member of the Company, is hereby authorized, empowered and directed for and on behalf of the Company, to open such bank accounts, investment accounts and other accounts as it deems necessary or appropriate and any Resolutions required therefore shall be, and they hereby are, authorized and approved as Resolutions of the Company.

III. Designation of Fiscal Year.

RESOLVED, that the Company shall keep its books for both tax and financial accounting purposes on a calendar year basis.

IV. Ratification of Prior Actions.

RESOLVED, that any and all actions heretofore taken on behalf of the Company by the Company's organizer are hereby confirmed, ratified and approved as the acts and deeds of the Company in all respects.

V. Further Authorizations.

RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized member of Dat Dogs, the sole Member of the Company, is hereby authorized and directed for and on behalf of the Company to take any such actions, and to execute and deliver such documents, certificates, agreements, filings and other instruments as it shall deem necessary or appropriate to complete the organization of the Company and to establish and begin the business thereof, and to otherwise effectuate the intent of the foregoing Resolutions.

This Written Consent is dated this 4<sup>th</sup> day of August, 2017.

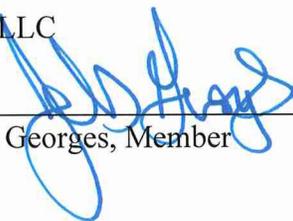
DAT DOGS ENTERPRISES, LLC, the sole Member of the Company

Through its Members:

DDG1, LLC

By:  \_\_\_\_\_  
Constantine Georges, Manager

DDG 2, LLC

By:  \_\_\_\_\_  
John Georges, Member

## EXHIBIT A

THAT CERTAIN LOT OF GROUND, together with all the buildings and improvements thereon, with all rights, ways, privileges, servitudes, appurtenances and advantages, thereunto belonging or in anywise appertaining, situated in the **6<sup>TH</sup> DISTRICT, SQUARE 579, LOT A**, bounded by Freret, Howard (or LaSalle), Robert and Soniat Streets, measuring 82'9"2" front on Soniat Street, by 83' depth between equal and parallel lines fronting on Freret Street, which property forms the corner of Freret and Soniat Streets.

The improvements thereon bear the municipal number 5030 Freret Street, New Orleans, Louisiana.

Being the same property acquired by Dat Dogs Enterprises, LLC from Newco II, LLC by act passed before James A. Mounger, Notary Public, dated November 22, 2011, registered on December 7, 2011 in Conveyance Instrument No. 502022.

**WRITTEN CONSENT OF THE MEMBERS  
OF  
DAT DOGS ENTERPRISES, LLC,  
  
IN LIEU OF MEETING**

The undersigned, being the only Members of Dat Dogs Enterprises, LLC, a Louisiana limited liability company (the "Company"), does hereby adopt the following resolutions:

I. Membership Interests.

WHEREAS, the Company desires to contribute the real estate municipally known as 5030 Freret Street, New Orleans, Louisiana, as more fully described on Exhibit A attached hereto and made a part hereof and all improvements on such real estate to DDFRERET, LLC ("DDF"), a Louisiana limited liability company, as its initial capital contribution to DDF in exchange for 1,000 Membership Units of DDF, being a 100% membership interest, in DDF;

NOW THEREFORE, BE IT RESOLVED, that the Company is hereby authorized to contribute the real estate located at 5030 Freret Street, New Orleans, Louisiana and all improvements on such real estate to DDF as its initial capital contribution to DDF in exchange for 1,000 Membership Units of DDF, being a 100% membership interest, in DDF; and

RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized member of the Company, is hereby authorized and directed for and on behalf of the Company to take any such actions, and to execute and deliver such documents, certificates, agreements, filings and other instruments as he shall deem necessary or appropriate to complete the capital contribution from the Company to DDF, including without limitation, execution of an Act of Transfer.

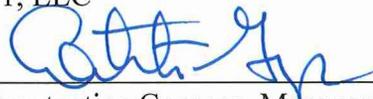
II. Ratification of Prior Actions.

RESOLVED, that any and all actions heretofore taken by Constantine Georges, the Manager of DDG1, LLC, being the authorized member of the Company, on behalf of the Company in furtherance of the purposes of these resolutions are hereby confirmed, ratified and approved as the acts and deeds of the Company in all respects.

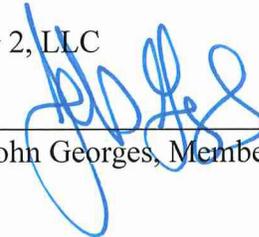
This Written Consent is dated this 4<sup>th</sup> day of August, 2017.

Members:

DDG1, LLC

By:   
Constantine Georges, Manager

DDG 2, LLC

By:   
John Georges, Member

## EXHIBIT A

THAT CERTAIN LOT OF GROUND, together with all the buildings and improvements thereon, with all rights, ways, privileges, servitudes, appurtenances and advantages, thereunto belonging or in anywise appertaining, situated in the **6<sup>TH</sup> DISTRICT, SQUARE 579, LOT A**, bounded by Freret, Howard (or LaSalle), Robert and Soniat Streets, measuring 82'9"2" front on Soniat Street, by 83' depth between equal and parallel lines fronting on Freret Street, which property forms the corner of Freret and Soniat Streets.

The improvements thereon bear the municipal number 5030 Freret Street, New Orleans, Louisiana.

Being the same property acquired by Dat Dogs Enterprises, LLC from Newco II, LLC by act passed before James A. Mounger, Notary Public, dated November 22, 2011, registered on December 7, 2011 in Conveyance Instrument No. 502022.

Tom Schedler  
SECRETARY OF STATE

State of Louisiana  
Secretary of State



COMMERCIAL DIVISION  
225.925.4704

August 9, 2017

Administrative Services  
225.932.5317 Fax  
Corporations  
225.932.5314 Fax  
Uniform Commercial Code  
225.932.5318 Fax

The attached document of DDFRERET, LLC was received and filed on August 08, 2017.

TW 42056163K

Tom Schedler  
SECRETARY OF STATE

State of Louisiana  
Secretary of State



August 9, 2017

COMMERCIAL DIVISION  
225.925.4704

Administrative Services  
225.932.5317 Fax  
Corporations  
225.932.5314 Fax  
Uniform Commercial Code  
225.932.5318 Fax

The attached document of DDFRERET, LLC was received and filed on August 08, 2017.

TW 42056163K

**CERTIFICATE OF CORRECTION  
TO THE  
INITIAL REPORT OF DDFRERET, LLC**

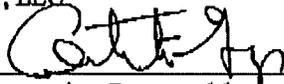
The undersigned, being the sole Member of DDFreret, LLC, a Louisiana limited liability company (the "Company"), acting pursuant to La. R.S. 12:1310, does hereby certify that:

- FIRST:** The title of the instrument being corrected is the Initial Report of DDFreret, LLC which contains errors the undersigned desires to correct.
- SECOND:** The name of the party to the instrument being corrected is Constantine Georges.
- THIRD:** The instrument being corrected was filed with the Secretary of State on October 28, 2015.
- FOURTH:** The undersigned desires to correct Item 4 of the Initial Report which originally listed the initial members names and addresses as: "DDG1, LLC, 527 St. Ann Street, New Orleans, Louisiana 70116;" and "DDG 2, LLC, 701 Edwards Avenue, Elmwood, Louisiana 70123" to read as follows:
  - "4. Dat Dogs Enterprises, LLC, 3336 Magazine Street, New Orleans, LA 70115."
- FIFTH:** In all other respects the Initial Report of DDFreret, LLC shall remain in full force and effect as written.

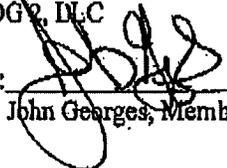
The undersigned Member of DDFreret, LLC has executed this Certificate of Correction to the Initial Report in accordance with La. R.S. 12:1310 at New Orleans, Louisiana, on August 4<sup>th</sup> 2017.

DAT DOGS ENTERPRISES, LLC  
Through its Members:

DDG1, LLC

By:   
Constantine Georges, Manager

DDG2, LLC

By:   
John Georges, Member

**ACKNOWLEDGMENT**

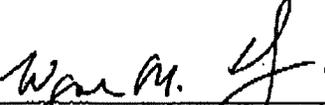
STATE OF LOUISIANA

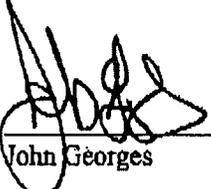
PARISH OF JEFFERSON

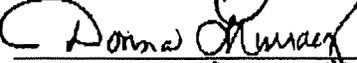
BEFORE ME, the undersigned Notary Public, duly commissioned and qualified in and for the Parish and State, personally came and appeared John Georges, to me known, who declared and acknowledged to me, Notary, and to the undersigned competent witnesses that he is the sole Member of DDG 2, LLC, a member of Dat Dogs Enterprises, LLC, and that as such he signed and executed the foregoing instrument as his free act and deed and the free act and deed of said limited liability company, for and on behalf of said limited liability company and for the objects and purposes therein set forth.

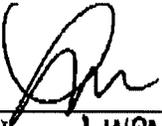
IN WITNESS WHEREOF, I have hereunto set my hand and official seal and the said appearer and the said witnesses have hereunto affixed their signatures this 4<sup>th</sup> day of August, 2017.

WITNESSES:

  
Print name: Wayne M. Brasnet, Jr.

  
John Georges

  
Print name: Donna Murray

  
Notary Name: LINDA MATIA  
Notary ID: 35228  
My commission expires: with death

STATE OF LOUISIANA

LINDA GEORGINA MATIA  
Notary Public  
LSB# 35228 NP# 198494  
Parish of Orleans \* State of Louisiana  
Lifetime Statewide Commission

ACKNOWLEDGMENT

STATE OF LOUISIANA

PARISH OF ORLEANS

BEFORE ME, the undersigned Notary Public, duly commissioned and qualified in and for the Parish and State, personally came and appeared Constantine Georges, to me known, who declared and acknowledged to me, Notary, and to the undersigned competent witnesses that he is the Manager of DDG1, LLC, a member of Dat Dogs Enterprises, LLC, and that as such he signed and executed the foregoing instrument as his free act and deed and the free act and deed of said limited liability company, for and on behalf of said limited liability company and for the objects and purposes therein set forth.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal and the said appearer and the said witnesses have hereunto affixed their signatures this 4<sup>th</sup> day of August, 2017.

WITNESSES:

Wayne M. Broussard, Jr.  
Print name: Wayne M. Broussard, Jr.

Donna Murray  
Print name: Donna Murray

Constantine Georges  
Constantine Georges

Linda Matta  
Notary Name: LINDA MATTA  
Notary ID: 35228  
My commission expires: with death

STATE OF LOUISIANA

LINDA GEORGINA MATTA  
Notary Public  
LBB# 35228 NP#136494  
Parish of Orleans \* State of Louisiana  
Lifetime Statewide Commission

<b>ACT OF TRANSFER</b>	* <b>UNITED STATES OF AMERICA</b>
<b>BY</b>	*
<b>DAT DOGS ENTERPRISES, LLC</b>	* <b>STATE OF LOUISIANA</b>
<b>TO</b>	*
<b>DDFRERET, LLC</b>	* <b>PARISH OF ORLEANS</b>

BE IT KNOWN, that on the dates indicated below, effective as of this 4th day of August, 2017, before the undersigned respective Notaries Public, duly commissioned and qualified in the State and Parish indicated, and in the presence of the undersigned competent witnesses, personally came and appeared:

**DAT DOGS ENTERPRISES, LLC**, a limited liability company organized and existing under the laws of the State of Louisiana, whose mailing address is c/o Constantine Georges, 3336 Magazine Street, New Orleans, LA 70115, represented herein by DDG1, LLC, in its capacity as the duly authorized Member, pursuant to a Written Consent of the Members, a copy of which is attached hereto ("**Transferor**");

and

**DDFRERET, LLC**, a limited liability company organized and existing under the laws of the State of Louisiana, whose mailing address is c/o Constantine Georges, 3336 Magazine Street, New Orleans, LA 70115, represented herein by its sole Member, Dat Dogs Enterprises, LLC, duly authorized pursuant to the Written Consent of the Sole Member, a copy of which is attached hereto ("**Transferee**")

Section 1. The Property. Transferor, after being first duly sworn, declared that Transferor does by these presents transfer and convey unto Transferee, here present, accepting and acknowledging due delivery and possession thereof, all and singular, the following described property (the "**Property**") and all improvements on the Property, to have and to hold unto Transferee and Transferee's successors and assigns forever, to-wit:

THAT CERTAIN LOT OF GROUND, together with all the buildings and improvements thereon, with all rights, ways, privileges, servitudes, appurtenances and advantages, thereunto belonging or in anywise appertaining, situated in the **6TH DISTRICT, SQUARE 579, LOT A**, bounded by Freret, Howard (or LaSalle), Robert and Soniat Streets, measuring 82'9"2" front on Soniat Street, by 83' depth between equal and parallel lines

Hon. Dale N. Atkins  
 CLERK OF CIVIL DISTRICT COURT  
 INST #: 2017-31608 08/11/2017 11:46:39 AM  
 TYPE: T 13 PG(S)

CIN#: 623923

**COPY**

fronting on Freret Street, which property forms the corner of Freret and Soniat Streets.

The improvements thereon bear the municipal number 5030 Freret Street, New Orleans, Louisiana.

Being the same property acquired by Dat Dogs Enterprises, LLC from Newco II, LLC by act passed before James A. Mounger, Notary Public, dated November 22, 2011, registered on December 7, 2011 in Conveyance Instrument No. 502022.

Section 2. Capital Contribution; Consideration; Taxes; Certificates and No Exam.

(A) Transferor's transfer and conveyance of the Property to Transferee is made as Transferor's capital contribution to Transferee. This transfer is made and accepted as a contribution to Transferee by Transferor, in exchange for 1,000 Membership Units in Transferee, the receipt and sufficiency of which is hereby acknowledged by Transferor. This contribution is made without reservation of any vendor's lien, privilege, resolatory condition, or stipulation pour autrui, including any right to rescind, resolve, or annul the contribution; and if any such vendor's lien, privilege, resolatory condition, or stipulation pour autrui would otherwise exist in connection with this transaction, any and all of the same are hereby fully waived, renounced, canceled, and terminated by each of the parties in favor of whom any or all of the same may otherwise have accrued.

(B) The address to which tax bills for the Property should be sent is c/o Constantine Georges, 3336 Magazine Street, New Orleans, LA 70115.

(C) The parties hereto specifically waive the production and annexation of mortgage and conveyance certificates of the Recorder of Mortgages and Register of Conveyances, respectively, in and for the Parish of Orleans, State of Louisiana, and the parties hereby relieve and release the undersigned Notary Public from all responsibility and liability in connection therewith. No title examination of the Property has been done by the attorney preparing this instrument nor by the undersigned Notary Public. The Property is transferred and conveyed subject to any and all servitudes, rights of way, easements, mineral reservations, restrictions, liens and encumbrances of record, including any mortgage affecting the Property.

Section 3. Disclaimer of Warranty.

3.1 General Disclaimer. The transfer is made with full warranty of title, but "as-is" and "where is" as to the condition of the Property, which is acknowledged by the Transferee, but with full substitution and subrogation in and to all rights of warranty which Transferor have or may have against all preceding owners. Transferee declares and acknowledges that:

a) Transferor does not warrant that the Property is free from redhibitory or latent defects or vices;

- b) Transferee and Transferee's agents, consultants and representatives have had a reasonable opportunity to inspect the Property;
- c) Transferee waives all warranties and/or representations by Transferor or imposed on Transferor as a matter of law, as to the condition of the Property, including without limitation, the following:
  - 1) the warranty of fitness for intended purpose or guarantee against hidden or latent redhibitory vices under Louisiana law, including Louisiana Civil Code Articles 2520 through 2548;
  - 2) the warranty imposed by Louisiana Civil Code Article 2475 (except with respect to title); and
  - 3) all rights in redhibition pursuant to Louisiana Civil Code Article 2520 et seq.;
- d) Transferee releases Transferor from any liability for redhibitory or latent defects or vices affecting the Property, including the environmental condition of the Property;
- e) This express waiver is a material and integral part of this transfer, and is a component of the consideration paid for the Property; and
- f) This waiver has been brought to the attention of Transferee and explained in detail and Transferee has voluntarily and knowingly consented to this waiver of warranty of fitness and/or warranty against redhibitory vices and defects for the Property.

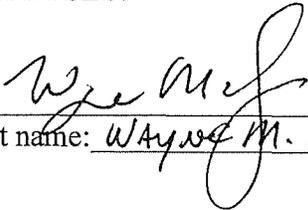
Transferee further assumes the risk as to any vices and defects which are latent and/or not discoverable upon simple inspection, and including those vices or defects, knowledge of which would deter Transferee from making this acquisition.

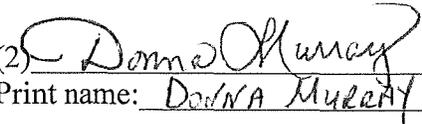
3.2 Environmental Disclaimer. Transferee hereby accepts the Property in its existing environmental condition and waives, discharges, and releases Transferor from any and all claims and/or causes of action which Transferee or its assigns or transferees may have or hereafter be otherwise entitled to, whether affecting person and/or property, for any environmental liabilities arising from the Property, including any claims, demands, causes of action (both public and private), judgments, attorneys' fees, costs, expenses, penalties and fines, imposed or assessed under any federal, state or local environmental law, rule or regulation.

*SIGNATURE PAGE TO FOLLOW*

THUS DONE AND PASSED on August 4<sup>th</sup>, 2017, in the Parish of Orleans, State of Louisiana, in the presence of the two undersigned competent witnesses who have hereunto signed their names with appearers and me, Notary Public, after due reading of the whole.

WITNESSES:

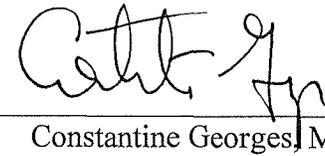
(1)   
Print name: Wayne M. Barquet, Jr.

(2)   
Print name: DONNA MURRAY

TRANSFEROR:

DAT DOGS ENTERPRISES, LLC

By: DDG1, LLC, Its Duly Authorized Member

By:   
Constantine Georges, Manager

  
NOTARY PUBLIC  
Name: LINDA MATTA  
Notary ID No.: 35228  
My Commission Expires: with death

STATE OF LOUISIANA

LINDA GEORGINA MATTA  
Notary Public  
LSB# 35228 NP#136494  
Parish of Orleans \* State of Louisiana  
Lifetime Statewide Commission

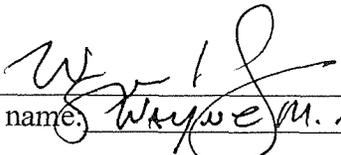
THUS DONE AND PASSED on August 4<sup>th</sup>, 2017, in the Parish of Orleans, State of Louisiana, in the presence of the two undersigned competent witnesses who have hereunto signed their names with appearer and me, Notary Public, after due reading of the whole.

WITNESSES:

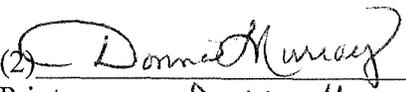
TRANSFeree:

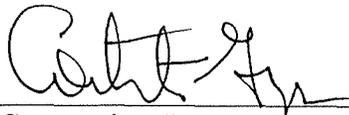
DDFRERET, LLC

By: Dat Dogs Enterprises, LLC, Its Sole Member

(1)   
Print name: Wayne M. Broussard, R

By: DDG1, LLC, Its Duly Authorized Member

(2)   
Print name: Donna Murray

By:   
Constantine Georges, Manager

  
NOTARY PUBLIC  
Name: LINDA MATTA  
Notary ID No.: 35228  
My Commission Expires: with death

STATE OF LOUISIANA

LINDA GEORGINA MATTA  
Notary Public  
LSB# 35228 NP#136494  
Parish of Orleans \* State of Louisiana  
Lifetime Statewide Commission

**CONSENTS**

**WRITTEN CONSENT OF THE MEMBERS  
OF  
DAT DOGS ENTERPRISES, LLC,  
  
IN LIEU OF MEETING**

The undersigned, being the only Members of Dat Dogs Enterprises, LLC, a Louisiana limited liability company (the "Company"), does hereby adopt the following resolutions:

I. Membership Interests.

WHEREAS, the Company desires to contribute the real estate municipally known as 5030 Freret Street, New Orleans, Louisiana, as more fully described on Exhibit A attached hereto and made a part hereof and all improvements on such real estate to DDFRERET, LLC ("DDF"), a Louisiana limited liability company, as its initial capital contribution to DDF in exchange for 1,000 Membership Units of DDF, being a 100% membership interest, in DDF;

NOW THEREFORE, BE IT RESOLVED, that the Company is hereby authorized to contribute the real estate located at 5030 Freret Street, New Orleans, Louisiana and all improvements on such real estate to DDF as its initial capital contribution to DDF in exchange for 1,000 Membership Units of DDF, being a 100% membership interest, in DDF; and

RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized member of the Company, is hereby authorized and directed for and on behalf of the Company to take any such actions, and to execute and deliver such documents, certificates, agreements, filings and other instruments as he shall deem necessary or appropriate to complete the capital contribution from the Company to DDF, including without limitation, execution of an Act of Transfer.

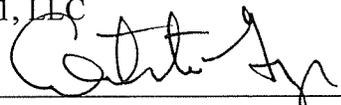
II. Ratification of Prior Actions.

RESOLVED, that any and all actions heretofore taken by Constantine Georges, the Manager of DDG1, LLC, being the authorized member of the Company, on behalf of the Company in furtherance of the purposes of these resolutions are hereby confirmed, ratified and approved as the acts and deeds of the Company in all respects.

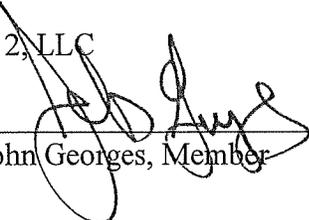
This Written Consent is dated this 4<sup>th</sup> day of August, 2017.

Members:

DDG1, LLC

By:   
Constantine Georges, Manager

DDG 2, LLC

By:   
John Georges, Member

## EXHIBIT A

THAT CERTAIN LOT OF GROUND, together with all the buildings and improvements thereon, with all rights, ways, privileges, servitudes, appurtenances and advantages, thereunto belonging or in anywise appertaining, situated in the **6<sup>TH</sup> DISTRICT, SQUARE 579, LOT A**, bounded by Freret, Howard (or LaSalle), Robert and Soniat Streets, measuring 82'9"2" front on Soniat Street, by 83' depth between equal and parallel lines fronting on Freret Street, which property forms the corner of Freret and Soniat Streets.

The improvements thereon bear the municipal number 5030 Freret Street, New Orleans, Louisiana.

Being the same property acquired by Dat Dogs Enterprises, LLC from Newco II, LLC by act passed before James A. Mounger, Notary Public, dated November 22, 2011, registered on December 7, 2011 in Conveyance Instrument No. 502022.

**WRITTEN CONSENT OF THE SOLE MEMBER  
OF  
DDFRERET, LLC**

**IN LIEU OF ORGANIZATIONAL MEETING**

The undersigned, being the sole Member of DDFreret, LLC, a Louisiana limited liability company (the "Company"), does hereby adopt the following resolutions:

I. Membership Interests.

WHEREAS, Dat Dogs Enterprises, LLC, a Louisiana limited liability company ("Dat Dogs"), desires to contribute the real estate municipally known as 5030 Freret Street, New Orleans, Louisiana, as more fully described on Exhibit A attached hereto and made a part hereof, and all improvements on such real estate to the Company as its initial capital contribution to the Company in exchange for 1,000 Membership Units of the Company, being a 100% membership interest, in the Company;

NOW THEREFORE, BE IT RESOLVED, that the Company is hereby authorized to accept the real estate located at 5030 Freret Street, New Orleans, Louisiana and all improvements on such real estate from Dat Dogs as its initial capital contribution to the Company in exchange for 1,000 Membership Units of the Company, being a 100% membership interest, in the Company; and

RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized member of Dat Dogs, the sole Member of the Company, is hereby authorized and directed for and on behalf of the Company to take any such actions, and to execute and deliver such documents, certificates, agreements, filings and other instruments as he shall deem necessary or appropriate to complete the acceptance of the capital contribution from Dat Dogs, including without limitation, execution of an Act of Transfer.

II. Company Bank and Investment Accounts.

RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized member of Dat Dogs, the sole Member of the Company, is hereby authorized, empowered and directed for and on behalf of the Company, to open such bank accounts, investment accounts and other accounts as it deems necessary or appropriate and any Resolutions required therefore shall be, and they hereby are, authorized and approved as Resolutions of the Company.

III. Designation of Fiscal Year.

RESOLVED, that the Company shall keep its books for both tax and financial accounting purposes on a calendar year basis.

IV. Ratification of Prior Actions.

RESOLVED, that any and all actions heretofore taken on behalf of the Company by the Company's organizer are hereby confirmed, ratified and approved as the acts and deeds of the Company in all respects.

V. Further Authorizations.

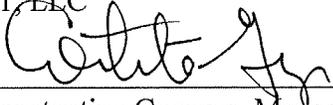
RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized member of Dat Dogs, the sole Member of the Company, is hereby authorized and directed for and on behalf of the Company to take any such actions, and to execute and deliver such documents, certificates, agreements, filings and other instruments as it shall deem necessary or appropriate to complete the organization of the Company and to establish and begin the business thereof, and to otherwise effectuate the intent of the foregoing Resolutions.

This Written Consent is dated this 4<sup>th</sup> day of August, 2017.

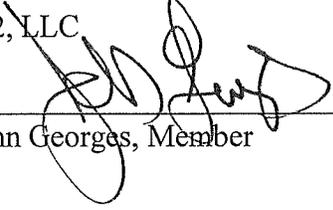
DAT DOGS ENTERPRISES, LLC, the sole Member of the Company

Through its Members:

DDG1, LLC

By:   
Constantine Georges, Manager

DDG 2, LLC

By:   
John Georges, Member

## EXHIBIT A

THAT CERTAIN LOT OF GROUND, together with all the buildings and improvements thereon, with all rights, ways, privileges, servitudes, appurtenances and advantages, thereunto belonging or in anywise appertaining, situated in the **6<sup>TH</sup> DISTRICT, SQUARE 579, LOT A**, bounded by Freret, Howard (or LaSalle), Robert and Soniat Streets, measuring 82'9"2" front on Soniat Street, by 83' depth between equal and parallel lines fronting on Freret Street, which property forms the corner of Freret and Soniat Streets.

The improvements thereon bear the municipal number 5030 Freret Street, New Orleans, Louisiana.

Being the same property acquired by Dat Dogs Enterprises, LLC from Newco II, LLC by act passed before James A. Mounger, Notary Public, dated November 22, 2011, registered on December 7, 2011 in Conveyance Instrument No. 502022.

**UNANIMOUS CONSENT OF  
DAT DOGS ENTERPRISES, LLC**

The undersigned, being all of the Members of Dat Dogs Enterprises, LLC, a Louisiana limited liability company (the "Company"), hereby adopt the following resolutions:

WHEREAS, the Company owns 1,000 Membership Units of DDFreret, LLC, a Louisiana limited liability company (the "Membership Units");

WHEREAS, the Company desires to pay a property distribution to its Members in Membership Units;

RESOLVED, that the Company shall pay a property distribution in Membership Units to its Members as follows:

<u>MEMBER</u>	<u>DISTRIBUTION</u>
DDG1, LLC	600 Membership Units
DDG2, LLC	400 Membership Units

FURTHER RESOLVED, that the record date for each of the foregoing distributions shall be the day of such distribution;

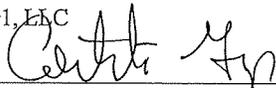
FURTHER RESOLVED, that Constantine Georges, the Manager of DDG1, LLC, being the authorized Member of the Company, is hereby authorized and empowered for and on behalf of the Company to take any and all actions that may be necessary or appropriate in order to carry out the purposes and intent of the foregoing resolutions; and

FURTHER RESOLVED, that all actions taken by Constantine Georges, the Manager of DDG1, LLC, being the authorized Member of the Company, in furtherance of the purposes of these resolutions prior to the date of this Unanimous Written Consent are hereby approved, confirmed and ratified in all respects.

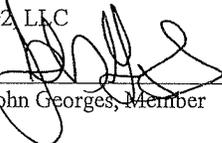
Dated: August 4, 2017

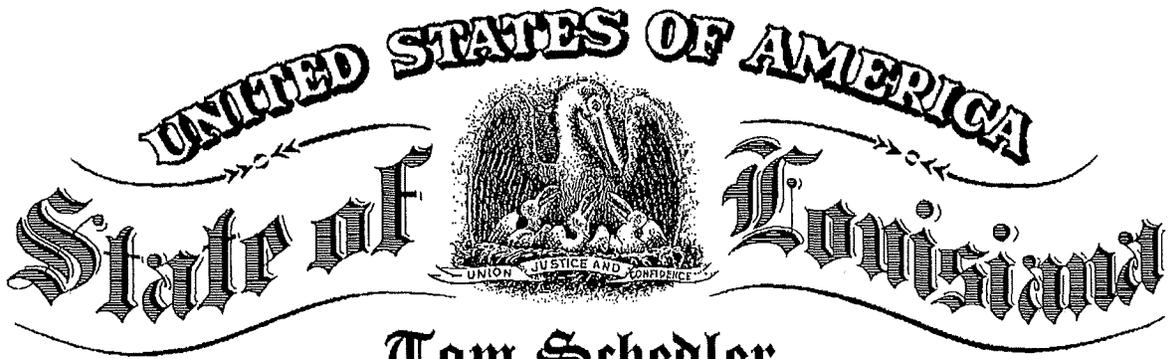
MEMBERS:

DDG1, LLC

By:   
Constantine Georges, Manager

DDG2, LLC

By:   
John Georges, Member



**Tom Schedler**

SECRETARY OF STATE

*As Secretary of State of the State of Louisiana, I do hereby Certify that*

the attached document(s) of

**DDFRERET, LLC**

are true and correct and are filed in the Louisiana Secretary of State's Office.

Original Filing 10/27/2015 3 pages

In testimony whereof, I have hereunto set my hand and caused the Seal of my Office to be affixed at the City of Baton Rouge on,

October 28, 2015

*Secretary of State*

AM42056163K



Certificate ID: 10649491#LUL73

To validate this certificate, visit the following web site, go to **Business Services**, Search for **Louisiana Business Filings**, Validate a **Certificate**, then follow the instructions displayed.

[www.sos.la.gov](http://www.sos.la.gov)

<b>ARTICLES OF ORGANIZATION</b>	*	<b>UNITED STATES OF AMERICA</b>
<b>OF</b>	*	<b>STATE OF LOUISIANA</b>
<b>DDFRERET, LLC</b>	*	<b>PARISH OF ORLEANS</b>

BE IT KNOWN, that on this 27<sup>th</sup> day of October, 2015;

BEFORE ME, a Notary Public, duly commissioned and qualified in and for the indicated State and Parish, and in the presence of the undersigned witnesses, personally came and appeared the undersigned, who, acting as organizer of a limited liability company under the Louisiana Limited Liability Company Law, does hereby adopt the following Articles of Organization for such limited liability company:

**ARTICLE I  
NAME**

The name of the limited liability company is **DDFRERET, LLC**.

**ARTICLE II  
DURATION**

The period of duration is perpetual.

**ARTICLE III  
PURPOSE**

The purpose for which the limited liability company is organized is to transact any and all lawful business for which limited liability companies may be organized under the Louisiana Limited Liability Company Law.

**ARTICLE IV  
LOW-PROFIT**

The limited liability company is not a low-profit limited liability company.

**ARTICLE V  
MANAGEMENT**

The limited liability company shall be managed by its members.

**ARTICLE VI  
LIMITED LIABILITY**

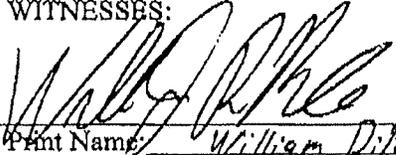
No member of the Company shall be personally liable for monetary damages for breach of any duty provided for in La. R.S. 12:1314.

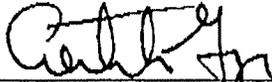
If, after the effective date of this Article VI, the Louisiana Limited Liability Company Law is amended to authorize company action further eliminating or limiting the personal liability of the members, then the liability of the members of the Company shall be eliminated or limited to the fullest extent permitted by the Louisiana Limited Liability Company Law, as so amended.

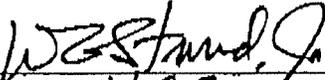
Any repeal or modification of this Article VI by the members of the Company shall not adversely affect any right or protection of the members of the Company under this Article VI with respect to any act or omission occurring prior to the time of such repeal or modification.

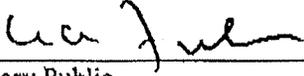
THUS DONE AND PASSED, in my office in New Orleans, Louisiana this 27<sup>th</sup> day of October, 2015, in the presence of the two undersigned competent witnesses, who hereunto sign their names with the said appearers and me, Notary, after reading of the whole.

WITNESSES:

  
Print Name: William DiPaola

  
Name: Constantine Georges  
Title: Organizer

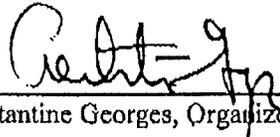
  
Print Name: W.C. Sprules, Jr.

  
Notary Public  
Typed Name: \_\_\_\_\_  
Notary ID: \_\_\_\_\_  
My commission is for life  
**Mark A. Fullmer**  
Notary Public, State of Louisiana  
Louisiana Bar Roll # 05776  
Notary Public ID #2569  
My Commission is issued for Life.

**LIMITED LIABILITY COMPANY INITIAL REPORT**

1. The name of this limited liability company is **DDFRERET, LLC.**
2. The location and municipal address of this limited liability company's registered office is 3336 Magazine Street, New Orleans, LA 70115.
3. The full name and municipal address of this limited liability company's registered agent is: Constantine Georges, 3336 Magazine Street, New Orleans, LA 70115.
4. The name and municipal addresses of the initial members are as follows:

DDG1, LLC – 527 St. Ann Street, New Orleans, LA 70116  
 DDG2, LLC – 701 Edwards Avenue, Elmwood, LA 70123

  
 \_\_\_\_\_  
 Constantine Georges, Organizer

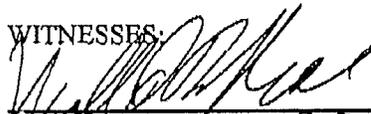
**AGENT'S AFFIDAVIT AND ACKNOWLEDGMENT OF ACCEPTANCE**

I hereby acknowledge and accept the appointment of registered agent for and on behalf of the above named limited liability company.

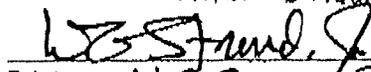
Registered Agent signature:

  
 \_\_\_\_\_  
 Constantine Georges, Registered Agent

**WITNESSES:**

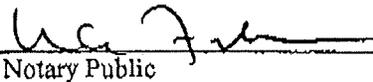
  
 \_\_\_\_\_

Print name: *William DiPaola*

  
 \_\_\_\_\_

Print name: *W.G. Strand, Jr.*

Sworn to and subscribed before me this 28 day of October, 2015.

  
 \_\_\_\_\_  
 Notary Public

Typed Name: \_\_\_\_\_

Notary ID: \_\_\_\_\_

My commission is for life  
**Mark A. Fullmer**  
 Notary Public, State of Louisiana  
 Louisiana Bar Roll # 05778  
 Notary Public ID #2589  
 My Commission is Issued for Life.

