

**REO, LLC  
927 POEYFARRE STREET  
NEW ORLEANS, LOUISIANA 70130**

August 8<sup>th</sup>, 2025

Ms. Aisha R. Collier  
Assistant Clerk of Council  
1300 Perdido Street, Rm. 1E09

RE: Ordinance 28574 Extension Request

Dear Ms. Collier,

On behalf of REO, LLC, I am requesting an extension of the Affordable Housing Planned Development (AHPD) for the project at 2256 Baronne Street, under Ordinance #28574.

Per Section 3 (pg. 8) of the ordinance, construction must begin within three (3) years from the date the CPC Executive Director approved the Planned Development. That approval is dated 9/30/2022, making the expiration date 9/30/2025.

The project is scheduled to start construction on 12/01/2025 and requests a one-year extension, through 9/30/2026.

Please let me know if any additional information or documentation is needed to process this request.

Sincerely,  
Nicole Nelson

ORDINANCE

CITY OF NEW ORLEANS

CITY HALL: December 3, 2020

NO. 28574 MAYOR COUNCIL SERIES

CALENDAR NO. 33,190

BY: COUNCILMEMBER BANKS

AN ORDINANCE to grant an Affordable Housing Planned Development in an HU-RM1 Historic Urban Multi-Family Residential District, on Square 264, Lot 30 or Lots 30 and 2, in the Fourth Municipal District, bounded by Baronne Street, Philip Street, Jackson Avenue, and Brainard Street (Municipal Address: 2256 Baronne Street); and otherwise to provide with respect thereto.

WHEREAS, Zoning Docket Number 71/20 was initiated by Housing Authority of New Orleans and referred to the City Planning Commission; and

WHEREAS, the City Planning Commission held a public hearing on this zoning petition and recommended approval of an Affordable Housing Planned Development in its report to the City Council dated September 21, 2020, presented in Zoning Docket 71/20; and

WHEREAS, the recommendation of the City Planning Commission was upheld and the changes were deemed necessary and in the best interest of the City of New Orleans and were granted approval, subject to one (1) exception and seventeen (17) provisos as stated in Motion Number M-20-388 of the Council of the City of New Orleans on November 19, 2020.

1           **SECTION 1. THE COUNCIL OF THE CITY OF NEW ORLEANS HEREBY ORDAINS,**  
2           That an Affordable Housing Planned Development in an HU-RM1 Historic Urban Multi-Family  
3           Residential District, on Square 264, Lot 30 or Lots 30 and 2, in the Fourth Municipal District, bounded by  
4           Baronne Street, Philip Street, Jackson Avenue, and Brainard Street (Municipal Address: 2256 Baronne  
5           Street); is hereby authorized and approved, subject to the following exception and provisos, as specifically  
6           set forth herein:

7 **EXCEPTION:**

8 1. The development shall be granted an exception of **Article 11, Section 11.3** and **Table 11-**  
9 **2A**, which limits multi-family residential building height to forty feet (40') and no more  
10 than three (3) stories, to permit the development to have a height of forty-nine feet (49')  
11 and four (4) stories.

12 **PROVISOS:**

13 No person shall use any of the properties described herein or permit another to use any of those properties  
14 described herein for the use authorized by this ordinance, unless the following requirements are met and  
15 continue to be met:

16 1. The development shall be in accordance with, and submit evidence of, all affordable  
17 housing requirements outlined in **Article 5, Section 5.10** of the Comprehensive Zoning  
18 Ordinance, including:

- 19 a. Affordable housing units shall be either rental affordable housing or  
20 homeownership affordable housing.
- 21 b. The development shall contain ten percent (10%) of units up to the sixty percent  
22 (60%) Area Median Income level.
- 23 c. The affordable housing units shall be located on-site within the same structure as  
24 the market rate dwelling units. The affordable units shall be spread throughout the  
25 development and not clustered on one floor or in one area of the development.
- 26 d. The affordable housing units shall be comparable to the market-rate housing units  
27 in terms floor area and exterior finishes. Interior finishes or appliances may be  
28 different as long as functionality and longevity are retained.

- 29 e. The bedroom mix (i.e. the number of bedrooms) of the affordable housing units  
30 shall be proportional to the market-rate housing units.
- 31 f. The obligation to provide and maintain a specified amount of affordable housing in  
32 a development shall run with planned development designation containing such site  
33 for not less than ninety-nine (99) years.
- 34 g. The residents of the affordable housing units shall have access to the same  
35 amenities as the residents of the market-rate housing units.
- 36 2. The developer shall submit an Affordable Housing Impact Statement (AHIS) for review  
37 and approval by City Planning Commission staff. The AHIS shall provide the following  
38 information:
- 39 a. The number of units added at the Area Medium Income Levels (AMI) at or below  
40 eighty percent (80%) and sixty (60%) Area Median Income.
- 41 b. The bedroom mix of the unit is to be added or removed (1, 2, 3, 4, etc. bedrooms).
- 42 3. In accordance with **Article 11, Section 11.3.B Building Design Standards** of the  
43 Comprehensive Zoning Ordinance, the plans submitted to the City Planning Commission  
44 for final approval shall indicate that the proposed plans are compliant with all the  
45 requirements of the building design standards found in **Section 11.3.B**. This would include  
46 reinstating the curb to provide for on-street parking adjacent to the site, providing safe  
47 pedestrian access, and other modifications as necessary. This would also include provisions  
48 to ensure all shutters shall be operational and sized to fit windows.
- 49 4. The plans submitted to the City Planning Commission for final approval shall include a  
50 landscaping plan that complies with **Article 23, Section 23.3.B** of the Comprehensive

51 Zoning Ordinance. The landscape plan shall be prepared by a licensed Louisiana landscape  
52 architect. This landscape plan shall indicate the following:

53 a. The genus, species, size, location, quantity, and irrigation of all existing and  
54 proposed plant materials within both the common areas and the street rights-of-way  
55 within the site, with applicable remarks and details.

56 b. Compliance with all applicable landscape regulations in **Article 23** and elsewhere  
57 in the Comprehensive Zoning Ordinance including building foundation  
58 landscaping in **Article 23, Section 23.6.A**.

59 c. Any proposed planting in the public right-of-way shall require the approval of the  
60 Department of Parks and Parkways.

61 5. The plans submitted to the City Planning Commission for final approval shall indicate the  
62 type, locations, and height of any and all exterior lighting. Any proposed exterior lighting  
63 shall comply with standards of **Article 21, Section 21.5** of the Comprehensive Zoning  
64 Ordinance.

65 6. The plans submitted to the City Planning Commission for final approval shall indicate the  
66 type, location, size, and materials of all signage. All signage shall conform to the  
67 requirements of **Article 24** of the Comprehensive Zoning Ordinance, subject to the review  
68 and approval of the City Planning Commission staff.

69 7. In accordance with **Article 23, Section 23.13.A** of the Comprehensive Zoning Ordinance,  
70 the plans submitted to the City Planning Commission for final approval shall indicate the  
71 location of the trash receptacle which may be within an enclosed structure or screened by  
72 a seven foot (7') opaque fence with latching gates. At no time, excepting trash collection  
73 days, shall trash be stored as to be visible from the public rights-of-way.

- 74 8. The developer shall replace and/or repair the sidewalk and curb adjacent to the subject site.  
75 The developer shall secure the approval of the Department of Public Works for any  
76 improvements to the adjacent public right-of-way, including sidewalks, curbing, and curb  
77 cuts, and any other modifications to the surrounding public rights-of-way. When  
78 submitting plans to the City Planning Commission for final approval, the developer shall  
79 provide documentation of all required approvals by the Department of Public Works.
- 80 9. The Department of Safety and Permits shall issue no building permits or licenses for this  
81 project until final development plans are approved by the City Planning Commission and  
82 recorded with the Office of Conveyances. Failure to complete the planned development  
83 process by properly recording plans within one year or failure to request an administrative  
84 extension as provided for in Article 4, Section 4.4.I.2 of the Comprehensive Zoning  
85 Ordinance will void the planned development approval.
- 86 10. The developer should submit revised site plans to improve safety and circulation within  
87 the off-street parking area. The design of vehicle parking spaces, driveways, and curb cuts  
88 shall comply with the requirements as set forth in Article 22, Section 22.8 and Article 22,  
89 Section 22.11 of the Comprehensive Zoning Ordinance. This includes the provision of at  
90 least eleven (11) off-street parking spaces at all times.
- 91 11. At least eighty percent (80%) of the required bicycle parking spaces shall be long term  
92 bicycle spaces, which comply with the location and design standards in Section 22.9.A  
93 and Section 22.9.B.
- 94 12. The operator and/or developer shall submit a security and operation plan, to be reviewed  
95 by the Director of Safety and Permits, and all other relevant City agencies, with the  
96 following added: The security plan shall include the provision of exterior security cameras.

97 The exterior security cameras shall maintain recordings for a period not less than ninety  
98 (90) days, and any recordings shall be made available to the Department of Safety and  
99 Permits upon request. At no time may an exterior camera be out of service for a period  
100 longer than ninety (90) days. Required exterior security cameras shall be part of the  
101 SafeCam Platinum initiative and integrated with the City of New Orleans Real-Time Crime  
102 Center.

103 13. Short-term rentals shall be prohibited at this development.

104 14. Developer shall place signage inside and outside the building indicating the name and  
105 contact information for a property manager, who shall be accessible at all times. Such signs  
106 must be posted in a visible location near all entryways.

107 15. The developer shall submit a litter abatement program letter to the Department of  
108 Sanitation for review and approval. The letter shall be inclusive of the stated location of  
109 trash storage out of the public right-of-way, the type and quantity of trash receptacles, the  
110 frequency of litter pickup, and the clearing of litter from the adjacent right-of-way, as  
111 necessary. The name and phone number of the on-site manager shall be included in this  
112 letter to be kept on file in case of any violation.

113 16. Loitering in front of the structure or in the adjacent rights-of-way shall be prohibited.  
114 Developer shall place signage in a visible location near all entryways reminding residents  
115 and visitors that loitering is prohibited.

116 17. Decorative elements having historically functional purposes, such as shutters, balconies,  
117 windows, and doors, shall be operational.

1 SECTION 2. Whoever does anything prohibited by this Ordinance or fails to do anything required  
2 to be done by this Ordinance shall be guilty of a misdemeanor and upon conviction shall be subject to a

3 fine or to imprisonment or both, such fine and/or imprisonment set by Section 1-13 of the Code of the City  
4 of New Orleans, or should alternatively be subject to whatever civil liabilities, penalties or remedies the  
5 law may prescribe. Conviction shall be cause for the immediate cancellation of the Use and Occupancy  
6 permit of the premises.

1           **SECTION 3.** This ordinance shall have the legal force and effect of authorizing this  
2 Affordable Housing Planned Development only after all the provisos listed in Section 1 of this  
3 Ordinance which impose a one-time obligation have been completely fulfilled and complied with,  
4 and only after all the provisos listed in Section 1 which impose a continuing or on-going obligation  
5 shall have begun to be fulfilled, as evidenced by the Planning Commission’s approval of a final  
6 site plan, which shall be submitted within one (1) year of adoption of this Affordable Housing  
7 Planned Development ordinance by the City Council. The Executive Director of the City Planning  
8 Commission shall verify that the development plan incorporates all conditions set forth in the  
9 ordinance authorizing the Affordable Housing Planned Development, and shall sign the plan to  
10 indicate final plan approval. The final approval plan shall be recorded in the Office of the Clerk of  
11 Civil District Court for the Parish of Orleans within thirty (30) days of the date of final approval,  
12 with evidence of such recordation being submitted to the City Planning Commission. No use or  
13 occupancy certificates or permits (other than the building permits needed to fulfill the provisos)  
14 shall be issued until all the provisos which impose a one-time obligation have been completely  
15 fulfilled and complied with, and only after all the provisos listed in Section 1 which impose a  
16 continuing or ongoing obligation shall have begun to be fulfilled, as evidenced by the Planning  
17 Commission’s approval of a final site plan (which shall be incorporated into this ordinance by  
18 reference) and its subsequent recordation. If the development plan is not approved and recorded  
19 within the timeframes provided herein, this ordinance shall be null and void with no legal force or

20 binding effect. Furthermore, if the development or construction of the Affordable Housing Planned  
21 Development authorized herein is not commenced within three (3) years from the date that the  
22 Executive Director of the City Planning Commission approves the Planned Development, or  
23 legally extended, as contemplated by Section 4.4.I.2 of the Comprehensive Zoning Ordinance, the  
24 provisions of this Ordinance shall be null and void with no legal force or binding effect.

ADOPTED BY THE COUNCIL OF THE CITY OF NEW ORLEANS JAN 14 2021

HELENA MORENO  
PRESIDENT OF THE COUNCIL

DELIVERED TO THE MAYOR ON JAN 15 2021

APPROVED:

JAN 19 2021

LATOYA CANTRELL  
MAYOR

RETURNED BY THE MAYOR ON JAN 21 2021 AT 10:35 AM

LORA W. JOHNSON  
CLERK OF COUNCIL

ROLL CALL VOTE:

YEAS: Banks, Brossett, Giarrusso, Gisleson Palmer, Nguyen - 5  
NAYS: 0  
ABSENT: Moreno - 1  
RECUSED: 0

THE FOREGOING IS CERTIFIED  
TO BE A TRUE AND CORRECT COPY

Lora W. Johnson  
CLERK OF COUNCIL

**MOTION**

**(AS CORRECTED)**

**NO. M-20-388**

**CITY HALL: November 19, 2020**

**BY: COUNCILMEMBER BANKS**

**SECONDED BY: COUNCILMEMBER NGUYEN**

**BE IT MOVED BY THE COUNCIL OF THE CITY OF NEW ORLEANS,** That the report and **favorable recommendation**, of the City Planning Commission on **ZONING DOCKET NO. 71/20 – HOUSING AUTHORITY OF NEW ORLEANS** – Requesting an Affordable Housing Planned Development in an HU-RM1 Historic Urban Multi-Family Residential District, on Square 264, Lot 30 or Lots 30 and 2, in the Fourth Municipal District, bounded by Baronne Street, Philip Street, Jackson Avenue, and Brainard Street (Municipal Address: **2256 Baronne Street**), is hereby **approved**. Accordingly, the Applicant's request is **granted** subject to one (1) exception and eleven (11) provisos as provided in the City Planning report, with amendments to Proviso Numbers three (3) and ten (10) with the addition of six (6) provisos, for a total of one (1) exception and seventeen (17) provisos as follows:

\* \* \*

3. In accordance with Article 11, Section 11.3.B Building Design Standards of the Comprehensive Zoning Ordinance, the plans submitted to the City Planning Commission for final approval shall indicate that the proposed plans are complaint with all the requirements of the building design standards found in Section 11.3.B. This would **include** reinstating the curb to provide for on-street parking adjacent to the site, providing safe pedestrian access, and other

shutters shall be operational and sized to fit windows.

\* \* \*

10. The applicant should submit revised site plans to improve safety and circulation within the off-street parking area. The design of vehicle parking spaces, driveways, and curb cuts shall comply with the requirements as set forth in Article 22, Section 22.8 and Article 22, Section 22.11 of the Comprehensive Zoning Ordinance. **This includes the provision of at least eleven (11) off-street parking spaces at all times.**

\* \* \*

12. The operator and/or developer shall submit a security and operation plan, to be reviewed by the Director of Safety and Permits, and all other relevant City agencies, with the following added:  
  
The security plan shall include the provision of exterior security cameras. The exterior security cameras shall maintain recordings for a period not less than ninety (90) days, and any recordings shall be made available to the Department of Safety and Permits upon request. At no time may an exterior camera be out of service for a period longer than ninety (90) days. Required exterior security cameras shall be part of the SafeCam Platinum initiative and integrated with the City of New Orleans Real-Time Crime Center.
13. Short-term rentals shall be prohibited at this development.
14. Developer shall place signage inside and outside the building indicating the name and contact information for a property manager, who shall be accessible at all times. Such signs must be posted in a visible location near all entryways.

15. The applicant shall submit a litter abatement program letter to the Department of Sanitation for review and approval. The letter shall be inclusive of the stated location of trash storage out of the public right-of-way, the type and quantity of trash receptacles, the frequency of litter pickup, and the clearing of litter from the adjacent right-of-way, as necessary. The name and phone number of the on-site manager shall be included in this letter to be kept on file in case of any violation.
16. Loitering in front of the structure or in the adjacent rights-of-way shall be prohibited. Developer shall place signage in a visible location near all entryways reminding residents and visitors that loitering is prohibited.
17. Decorative elements having historically functional purposes, such as shutters, balconies, windows, and doors, shall be operational.

\* \* \*

**THE FOREGOING MOTION WAS READ IN FULL, THE ROLL WAS CALLED  
ON THE ADOPTION THEREOF, AND RESULTED AS FOLLOWS:**

**YEAS: Banks, Brossett, Giarrusso, Gisleson Palmer, Nguyen - 5**

**NAYS: 0**

**ABSENT: Moreno, Williams - 2**

**AND THE MOTION WAS ADOPTED.**

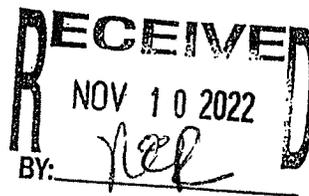
THE FOREGOING IS CERTIFIED  
TO BE A TRUE AND CORRECT COPY  
*Pera W. Johnson*  
CLERK OF COUNCIL

*G:\DOCS\WAOM\COUNCIL\ROLL CALL\M-20-388.docx*

1340 Poydras Street, 4th Floor  
New Orleans, Louisiana 70112



Land Records Division  
Telephone (504) 407-0005



**Chelsey Richard Napoleon**  
Clerk of Court and Ex-Officio Recorder  
Parish of Orleans

**DOCUMENT RECORDATION INFORMATION**

Instrument Number: 2022-43141

Recording Date: 11/9/2022 12:02:37 PM

Document Type: APPROVED ZONING PLANS

Addtl Titles Doc Types:

Conveyance Instrument Number: 719306

Filed by: REO, LLC  
927 POEYFARRE ST  
NEW ORLEANS LA 70130

CITY PLANNING COMMISSION  
CITY OF NEW ORLEANS

LATOYA CANTRELL  
MAYOR

ROBERT D. RIVERS  
EXECUTIVE DIRECTOR

Friday, September 30, 2022

Hon. Chelsey Richard Napoleon  
Civil District Court Clerk  
Parish of Orleans  
Fourth Floor, Amoco Building  
1340 Poydras Street  
New Orleans, LA 70112

Re: Approved plans for Zoning Docket 071/20

Approval of final development plans for an Affordable Housing Planned Development

Dear Ms. Napoleon:

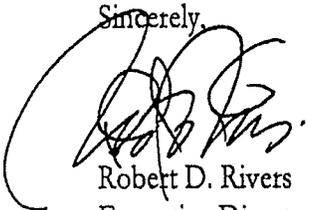
Attached you will find two (2) sets of the approved plans as referenced above.

The subject property includes: Square 264, Lot 30 or Lots 30 and 2, in the Fourth Municipal District bounded by Baronne Street, Philip Street, Jackson Avenue, and Brainard Street. The municipal address is 2256 Baronne Street.

According to our records the property is owned by: Housing Authority of New Orleans

Please record the drawings as required. Should you need any additional information please feel free to contact me.

Sincerely,

  
Robert D. Rivers  
Executive Director

RR/sk



Chelsey Richard  
CLERK OF CIVIL DISTRICT  
INST #: 2022-43141 11/09/20  
TYPE: ZONE 1B

CIN#: 71931



NEW ORLEANS CITY PLANNING COMMISSION'S PROVISOS:

- 1) The development shall be in accordance with, and submit evidence of, all affordable housing requirements outlined in Article 5, Section 5.10 of the Comprehensive Zoning Ordinance, including:
  - a. Affordable housing units shall be either rental affordable housing or homeownership affordable housing.
  - b. The development shall contain ten percent (10%) of units up to the sixty percent (60%) Area Median Income level.
  - c. The affordable housing units shall be located on-site within the same structure as the market rate dwelling units. The affordable units shall be spread throughout the development and not clustered on one floor or in one area of the development.
  - d. The affordable housing units shall be comparable to the market-rate housing units in terms floor area and exterior finishes. Interior finishes or appliances may be different as long as functionally and longevity are retained.
  - e. The bedroom mix (i.e. the number of bedrooms) of the affordable housing units shall be proportional to the market-rate housing units.
  - f. The obligation to provide and maintain a specified amount of affordable housing in a development shall run with planned development designation containing such site for not less than ninety-nine (99) years.
  - g. The residents of the affordable housing units shall have access to the same amenities as the residents of the market-rate housing units.
- 2) The developer shall submit an Affordable Housing Impact Statement (AHIS) for review and approval by City Planning Commission staff. The AHIS shall provide the following information:
  - a. The number of units added at the Area Medium Income Levels (AMI) at or below 80% and 60% Area Median Income
  - b. The bedroom mix of the unit is to be added or removed (1, 2, 3, 4, etc. bedrooms).
- 3) In accordance with Article 11, Section 11.3.B Building Design Standards of the Comprehensive Zoning Ordinance, the plans submitted to the City Planning Commission for final approval shall indicate that the proposed plans are compliant with all the requirements of the building design standards found in Section 11.3.B. This would entitling the curb to provide for on-street parking adjacent to the site, providing safe pedestrian access, and other modifications as necessary. This would also include provisions to ensure all shutters are operational and sized to fit windows.
- 4) The plans submitted to the City Planning Commission for final approval shall include a landscaping plan that complies with Article 23, Section 23.3.B of the Comprehensive Zoning Ordinance. The landscape plan shall be prepared by a licensed Louisiana landscape architect. This landscape plan shall indicate the following:
  - a. the genus, species, size, location, quantity, and irrigation of all existing and proposed plant materials within both the common areas and the street rights-of-way within the site, with applicable remarks and details;
  - b. compliance with all applicable landscape regulations in Article 23 and elsewhere in the Comprehensive Zoning Ordinance including building foundation landscaping in Article 23, Section 23.6.A, and
  - c. any proposed planting in the public right-of-way shall require the approval of the Department of Parks and Parkways
- 5) The plans submitted to the City Planning Commission for final approval shall indicate the type, locations, and height of any and all exterior lighting. Any proposed exterior lighting shall comply with standards of Article 21, Section 21.5 of the Comprehensive Zoning Ordinance.
- 6) The plans submitted to the City Planning Commission for final approval shall indicate the type, location, size, and materials of all signage. All signage shall conform to the requirements of Article 24 of the Comprehensive Zoning Ordinance, subject to the review and approval of the City Planning Commission staff.
- 7) In accordance with Article 23, Section 23.13.A of the Comprehensive Zoning Ordinance, the plans submitted to the City Planning Commission for final approval shall indicate the location of the trash receptacle which may be within an enclosed structure or screened by a seven foot (7') opaque fence with latching gates. At no time, excepting trash collection days, shall trash be stored as to be visible from the public rights-of-way.

- 8) The applicant shall replace and/or repair the sidewalk and curb adjacent to the subject site. The developer shall seek approval of the Department of Public Works for any improvements to the adjacent public right-of-way, including sidewalk, curb cuts, and any other modifications to the surrounding public rights-of-way. When submitting plans, City Planning Commission for final approval, the developer shall provide documentation of all required approvals by Department of Public Works.
- 9) The Department of Safety and Permits shall issue no building permits or licenses for this project until final development plans are approved by the City Planning Commission and recorded with the Office of Conveyances. Failure to complete development process by properly recording plans within one year or failure to request an administrative extension provided for in Article 4, Section 4.4.1.2 of the Comprehensive Zoning Ordinance will void the planned development.

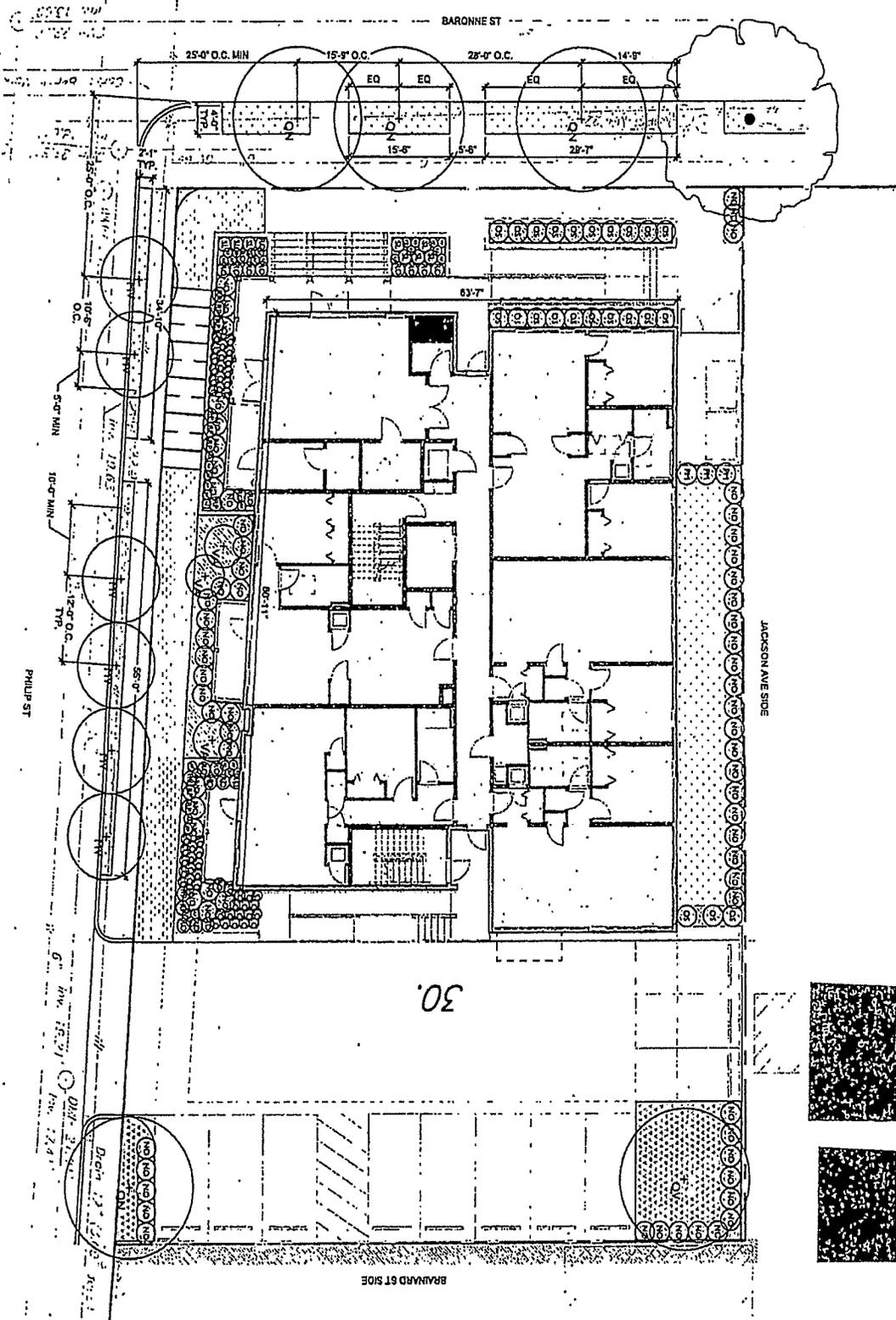
- 10) The applicant should submit revised site plans to improve safety and circulation within the off-street parking area design of vehicle parking spaces, driveways, and curb cuts shall comply with the requirements as set forth in Article 22.8 and Article 22, Section 22.11 of the Comprehensive Zoning Ordinance.
- 11) At least 80% of the required bicycle parking spaces shall be long term bicycle spaces, which comply with the location standards in Section 22.9.A and 22.9.B.
- 12) The operator and/or developer shall submit a security and operation plan, to be reviewed by the Director of Safety Permits, and all other relevant City agencies, with the following added: The security plan shall include the provision security cameras. The exterior security cameras shall maintain recording for a period not less than ninety (90) day recordings shall be made available to the Department of Safety and Permits upon request. At no time may an exterior be out of service for a period longer than ninety (90) days. Required exterior security cameras shall be part of the 5 Platinum initiative and integrated with the City of New Orleans Real-Time Crime Center.
- 13) Short-term rentals shall be prohibited at this development.
- 14) Developer shall place signage inside and outside the building indicating the name and contact information for a manager, who shall be accessible at all times. Such signs must be posted in a visible location near all entryways.
- 15) The developer shall submit a litter abatement program letter to the Department of Sanitation for review and approval. The letter shall be inclusive of the stated location of trash storage out of the public right-of-way, the type and quantity of receptacles, the frequency of litter pickup, and the clearing of litter from the adjacent right-of-way, as necessary. The letter and phone number of the on-site manager shall be included in this letter to be kept in the record for the project.
- 16) Littering in front of the structure or in the adjacent rights-of-way shall be prohibited. Developer shall place a visible location near all entryways reminding residents and visitors that all littering, including littering in windows, and other operational.
- 17) Decorative elements having historical, functional purposes, such as shutters, balconies, windows, and doors shall be maintained in good condition.



WAIVERS: EXCEPTION PROVISOS:  
ORDINANCE # 2024-001 ADOPTED:



PARKWAY TREES REQUIREMENTS					
Street	Length (Ft)	Required Number of Shade Trees (40' O.C.)	OR Required Number of Ornamental Trees (25' O.C.)	Number of Existing Street Trees to Remain	Type of Street Tree
BARONNE ST	87.5	2.2	3.5	0	SHADE
PHILIP ST	148	3.7	5.9	0	ORNAMENTAL



APPROVED  
 Public Landscaping Plan  
 Date: 23 JUNE 2012  
 By: [Signature]  
 License # 24622 (2/20/12)

1 PLANTING PLAN  
 Scale: 1/8" = 1'-0"

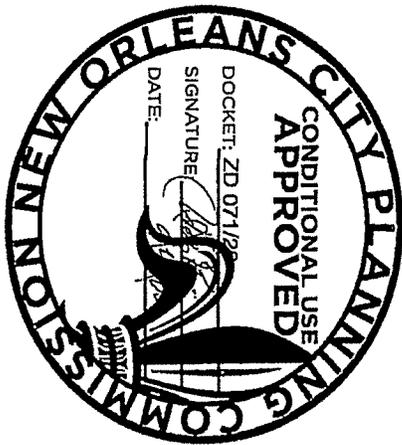
Plan  
 Scale: 1/8" = 1'-0"

WAIVERS: 1 EXCEPTION PROVISOS:  
 ORDINANCE # 28-574 MGS ADOPTED

NEW ORLEANS CITY PLANNING DEPARTMENT  
 APPROVED  
 DOCKET: ZD 071128  
 SIGNATURE: [Signature]  
 DATE: [Date]

- NOTE
- INTERIOR PARKING LOT LANDSCAPE
  - TOTAL NUMBER OF REQUIRE ISLAND = 1
  - TOTAL NUMBER OF PARKING PROVIDED = 1 (PROVIDE 181)
  - PERMETER PARKING LOT LANDSCAPE
  - DUE TO SPATIAL LIMITATION INTERIOR SIDE SOUTH PARKING LOT (AS SHOWN) IS NOT PROVIDED.
  - A 7 FT TALL FENCE HAS BEEN THE BATTLE STRUCTURE OF JAC THE ARCHITECTURE FOR FISH AND BIRDS.
  - THERE IS AN EXISTING WALL 5 FT FROM THE ADVANCE SIDE FROM THE ADVANCE THEREFORE NO FENCE WALL PARKING LOT FRONTING IS PROVIDED.
  - BUILDING FOUNDATION LANDSCAPE
  - TOTAL NUMBER OF SHRUBS: PERMANENTS REQUIRED AT 31 PHILIP ST = 22 SHRUBS ANOK BARONNE ST = 22 SHRUBS AT PROVIDED.
  - TOTAL NUMBER OF SHRUBS: PHILIP ST 30  
 1 YUKA  
 2 PETITE PINK ORZALIA  
 3 CANTON ROSEBAY  
 4 RED LANTANA  
 5 BLACK-CRESTED SILKIN  
 6 RED LANTANA  
 7 TRAILING ROSEBAY  
 8 BARONNE ST  
 9 FRESKO  
 10 FRESKO  
 11 FRESKO  
 12 FRESKO

DATE: 2/26/2012



WAIVERS: 1 EXCEPTION PROVISOS: 17  
 ORDINANCE #: 28574 MCS ADOPTED: 1/19/21

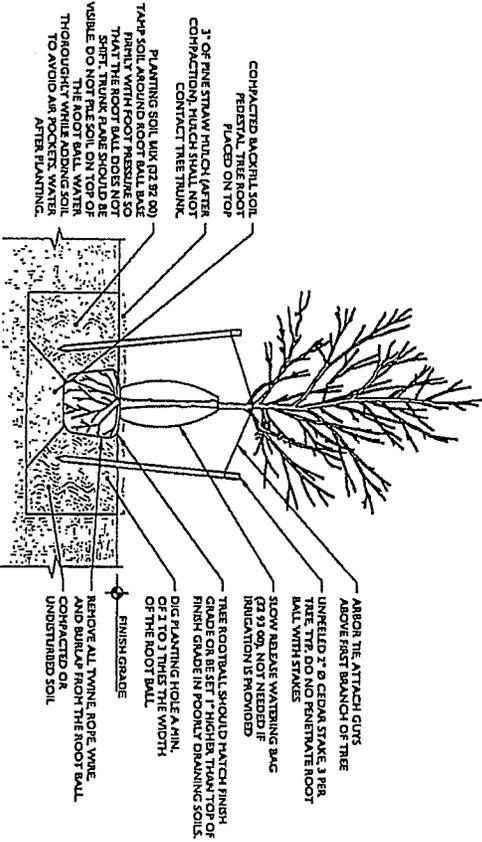
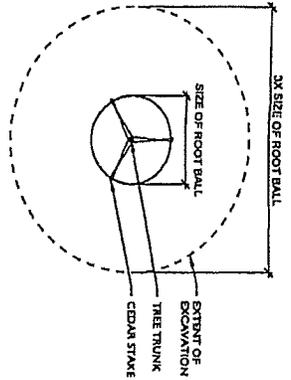
NOTE  
 1. ALL PLANTING SHALL BE TRIANGULAR SPACING UNLESS OTHERWISE NOTED.

PLANT SCHEDULE (03 31 09)

TREES						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	NOTES
TM	SINGLESTEM STREETBAY FRANGULA	<i>Alnus incana</i>	6	3" CAL	REF PLAN	MIN CROTCH HEIGHT IS 15FT HAVE STRONG CENTRAL LEADER
QY	SOUTHERN LIVE OAK	<i>Quercus virginiana</i>	1	3" CAL	REF PLAN	MIN CROTCH HEIGHT IS 15FT MUST HAVE STRONG CENTRAL LEADER
QY	NUTTALL OAK	<i>Quercus muhlenbergii</i>	4	3" CAL	REF PLAN	MIN CROTCH HEIGHT IS 15FT MUST HAVE STRONG CENTRAL LEADER
VM	VITEX	<i>Vitex spicata</i>	3	45 GAL	REF PLAN	10-12" TALL MUST BE 1.5 TRUNKS

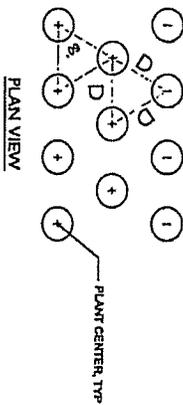
SHRUBS AND GROUNDCOVER

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	NOTES
LC	RED LAVANNA	<i>Lonicera caerulea</i>	50	1 GAL	18" O.C.	
NO	FETTER MARK OLEANDER	<i>Nerium oleander</i> 'Fetter Mark'	70	3 GAL	36" O.C.	PLANTS SHALL HAVE A 3/4" SPREAD AT PLANTING. MIN. 36" TALL AT PLANTING.
OS	IRISPEIKE	<i>Oxalis spicata</i>	25	3 GAL	36" O.C.	PLANTS SHALL HAVE A 3/4" SPREAD AT PLANTING. MIN. 36" TALL AT PLANTING.
PH	JAPANESE YEW	<i>Podocarpus neriifolia</i>	3	3 GAL	36" O.C.	PLANTS SHALL HAVE A 3/4" SPREAD AT PLANTING. MIN. 36" TALL AT PLANTING.
RO	COMMON ROSEMARY	<i>Rosmarinus officinalis</i>	24	1 GAL	24" O.C.	
RP	TRAILING ROSEMARY	<i>Rosmarinus officinalis</i> 'Prostratus'	12	1 GAL	24" O.C.	
RF	GOLDSTICH BLACK EYED SUSAN	<i>Rudbeckia hirta</i> var. <i>stiffensis</i> 'Goldstich'	36	1 GAL	18" O.C.	
SL	HEDECAN BUSH SAGE	<i>Salvia leucantha</i>	10	1 GAL	24" O.C.	
	CREeping UNDORE	<i>Lonicera japonica</i>	80 SF	4" POTS	18" O.C.	TRIANGULAR SPACING
	WEEDUA	<i>Sphagnum subsecundum</i>	415 SF	4" POTS	12" O.C.	TRIANGULAR SPACING
	ASIAN JASMINE	<i>Trachelium asiaticum</i>	315 SF	4" POTS	8" O.C.	TRIANGULAR SPACING
	LAWN	<i>Grass seed</i>	915 SF	SCD		
	3" PINE STRAW MULCH		1,650 SF			ALL PLANT BEDS AND 3" MULCH AROUND ALL TREES

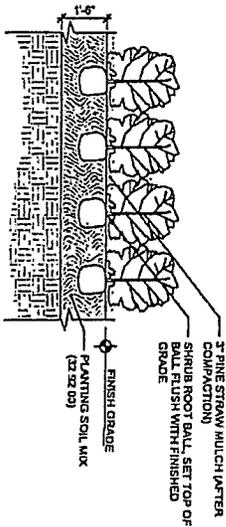


1 TREE PLANTING, TYP  
Scale: 1/2"=1'-0"

Detail



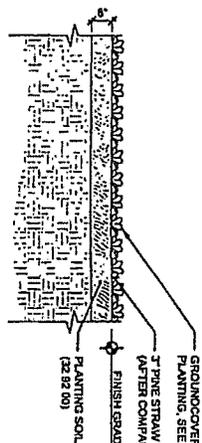
- NOTE:
1. REMOVE ALL WIRE, PLASTIC TIES AND/OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING
  2. D= TYPICAL ON CENTER (O.C.) SPACE AS INDICATED BY THE PLANT SCHEDULE



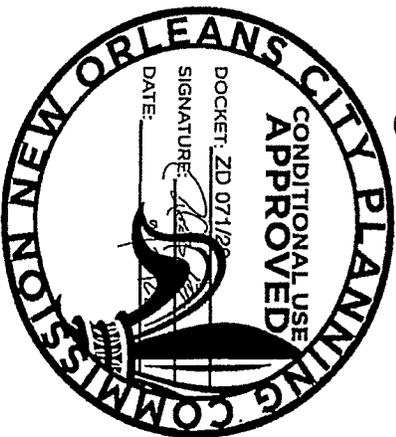
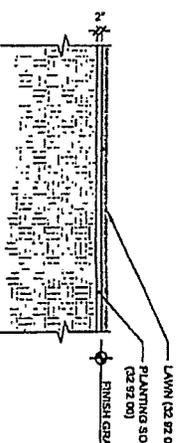
2 PLANTING, TYP  
Scale: 1/2"=1'-0"

Detail

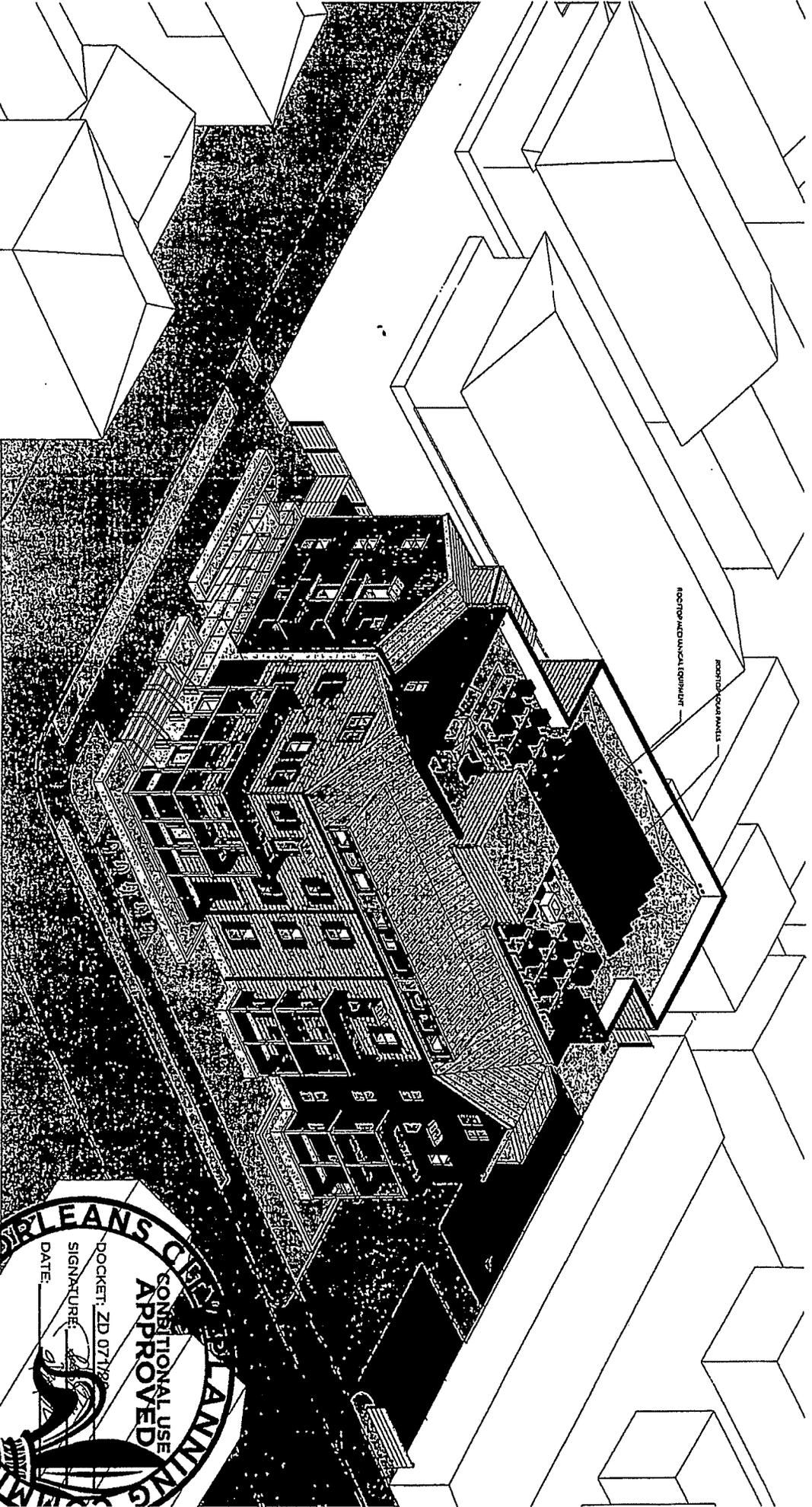
3 GROUND COVER PLANTING, TYP  
Scale: 1/2"=1'-0"



4 LAWN, TYP  
Scale: 1/2"=1'-0"

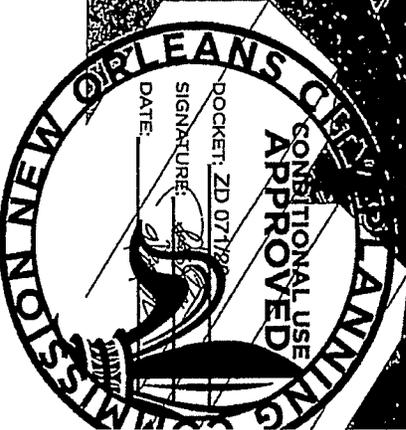


WAIVERS: 1 EXCEPTION    PROVISOS: 17  
ORDINANCE #: 28 STAMCS ADOPTED: 1/19/21



POSTERIOR MECHANICAL EQUIPMENT

POSTERIOR COURT ELEVATOR



CONVENTIONAL USE  
APPROVED

DOCKET: ZD 07 1798

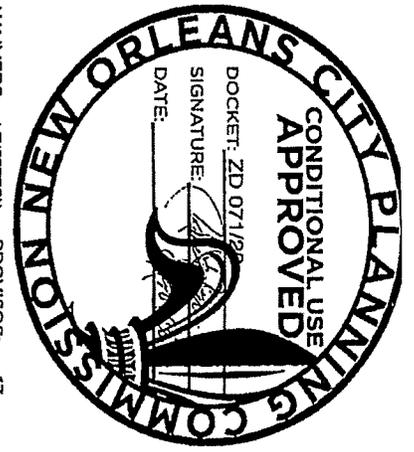
SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

WAIVERS: 1 EXCEPTION    PROVISOS: 17

ORDINANCE #: 28,574 MGS    ADOPTED: 1/19/21

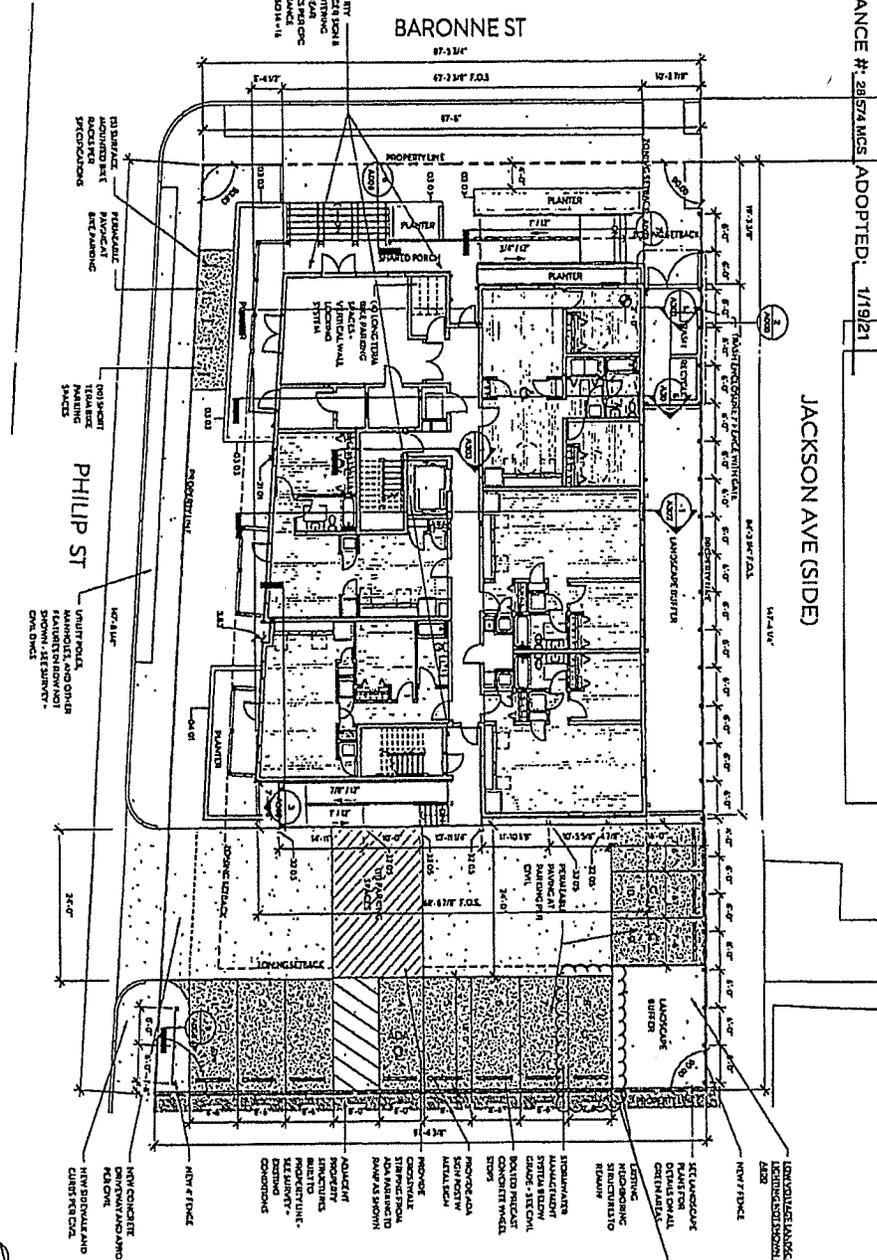
DATE: 1/19/21  
BY: [Signature]  
TITLE: [Title]



ORDINANCE # 28574 MCS ADOPTED: 1/19/21  
 WAIVERS: 1 EXCEPTION PROVISOS: 17

- ZONING: HU-100 UNDERLYING ZONING**
- APPROPRIATE HOUSING PLANNED DEVELOPMENT (44P0)
  - 1435 SF LOT AREA
  - 300 SF MINIMUM OPEN SPACE REQUIRED
  - 4,455 SF - PERMEABLE OPEN SPACE REQUIRED + 80 SF / DU + 20 DU
  - 2795 SF - PERMEABLE LANDSCAPING
  - 1740 SF - PERMEABLE PAVING
  - 10'-0" INTERIOR SIDE YARD SETBACK
  - 10'-0" CORNER SIDE YARD SETBACK
  - 20'-0" REAR YARD SETBACK
  - 12'-0" FRONT YARD SETBACK
  - 23 DU ALLOWED - 900 SF / DU MINIMUM LOT AREA / DU
  - 22 DU PROPOSED UNDER PLANNED DEVELOPMENT
  - 40' BUILDING HEIGHT AND NO MORE THAN 3 STORIES
  - ALLOWED
  - 49'-0" BUILDING HEIGHT SEPARATED 4 STORIES PROPOSED UNDER PLANNED DEVELOPMENT
  - FLOOR AREA RATIO IN HU-100 UNDERLYING ZONING = 1.3
  - 1615 SF / 13 = 118.44 SF
  - 10,797 SF PROPOSED

- PLANNED DEVELOPMENT REQUIREMENTS:**
- 22 SPACES REQUIRED TO BE OPEN TO THE PUBLIC
  - PLANNED DEVELOPMENT MUST BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLANNED DEVELOPMENT ORDINANCE
  - 11 REQUIRED PARKING SPACES
  - 11 REQUIRED BIKE SPACES
  - 4 LONG TRAIL BIKE SPACES PROPOSED
  - 10 BIKE TRAIL BIKE SPACES PROPOSED



SITE PLAN

Area Schedule

TO: SLAB - LEVEL 2	AREA	SQ. FT.
200	CORRIDOR	4115 SF
201	TYPE 1 - 1 BEDROOM	701 SF
202	TYPE 2 - 1 BEDROOM	703 SF
203	TYPE 3 - 1 BEDROOM	703 SF
204	TYPE 4 - 1 BEDROOM	709 SF
205	TYPE 5 - 1 BEDROOM	708 SF
206	TYPE 6 - 2 BEDROOM	910 SF
207	UTILITY	50 SF
208	TRASH	31 SF
209	FRESH AIR	6 SF
E12	ELEVATOR	74 SF
E11	STAIR 1	131 SF
E12	STAIR 2	136 SF
		5245 SF

TO: SLAB - LEVEL 3

TO: SLAB - LEVEL 3	AREA	SQ. FT.
300	CORRIDOR	444 SF
301	TYPE 1 - 1 BEDROOM	687 SF
302	TYPE 2 - 1 BEDROOM	705 SF
303	TYPE 3 - 1 BEDROOM	705 SF
304	TYPE 4 - 1 BEDROOM	709 SF
305	TYPE 5 - 1 BEDROOM	707 SF
306	TYPE 6 - 2 BEDROOM	905 SF
307	UTILITY	51 SF
308	TRASH	31 SF
309	FRESH AIR	6 SF
E13	ELEVATOR	71 SF
E13	STAIR 1	137 SF
E13	STAIR 2	146 SF
		5277 SF

TO: SLAB - LEVEL 4

TO: SLAB - LEVEL 4	AREA	SQ. FT.
400	CORRIDOR	136 SF
401	STORAGE	129 SF
402	UTILITY	57 SF
403	TYPE 4 - 1 BEDROOM	707 SF
404	TYPE 4 - 1 BEDROOM	710 SF
405	TYPE 7 - 2 BEDROOM	1026 SF
407	TYPE 7 - 2 BEDROOM	1026 SF
408	TYPE 8 - 1 BEDROOM	707 SF
409	TYPE 8 - 1 BEDROOM (ADA)	726 SF
410	TRASH	34 SF
411	FRESH AIR	7 SF
E04	ELEVATOR	74 SF
E14	STAIR 1	135 SF
E14	STAIR 2	135 SF
		4784 SF

TO: PARADEY

TO: PARADEY	AREA	SQ. FT.
501	STAIR LOBBY	12 SF
E15	ELEV. OVERHOLE	72 SF
E15	STAIR 2	127 SF
		223 SF
<b>TOTAL SF</b>		<b>20855 SF</b>

**SITE PLAN GENERAL NOTE**

1. STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLANNED DEVELOPMENT ORDINANCE.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLANNED DEVELOPMENT ORDINANCE.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLANNED DEVELOPMENT ORDINANCE.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLANNED DEVELOPMENT ORDINANCE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLANNED DEVELOPMENT ORDINANCE.

**KEYNOTE LEGEND**

- 0100 - CONSTRUCTION WITH PERMIT
- 0200 - CONSTRUCTION WITH PERMIT
- 0300 - CONSTRUCTION WITH PERMIT
- 0400 - CONSTRUCTION WITH PERMIT
- 0500 - CONSTRUCTION WITH PERMIT
- 0600 - CONSTRUCTION WITH PERMIT
- 0700 - CONSTRUCTION WITH PERMIT
- 0800 - CONSTRUCTION WITH PERMIT
- 0900 - CONSTRUCTION WITH PERMIT
- 1000 - CONSTRUCTION WITH PERMIT
- 1100 - CONSTRUCTION WITH PERMIT
- 1200 - CONSTRUCTION WITH PERMIT
- 1300 - CONSTRUCTION WITH PERMIT
- 1400 - CONSTRUCTION WITH PERMIT
- 1500 - CONSTRUCTION WITH PERMIT
- 1600 - CONSTRUCTION WITH PERMIT
- 1700 - CONSTRUCTION WITH PERMIT
- 1800 - CONSTRUCTION WITH PERMIT
- 1900 - CONSTRUCTION WITH PERMIT
- 2000 - CONSTRUCTION WITH PERMIT
- 2100 - CONSTRUCTION WITH PERMIT
- 2200 - CONSTRUCTION WITH PERMIT
- 2300 - CONSTRUCTION WITH PERMIT
- 2400 - CONSTRUCTION WITH PERMIT
- 2500 - CONSTRUCTION WITH PERMIT
- 2600 - CONSTRUCTION WITH PERMIT
- 2700 - CONSTRUCTION WITH PERMIT
- 2800 - CONSTRUCTION WITH PERMIT
- 2900 - CONSTRUCTION WITH PERMIT
- 3000 - CONSTRUCTION WITH PERMIT
- 3100 - CONSTRUCTION WITH PERMIT
- 3200 - CONSTRUCTION WITH PERMIT
- 3300 - CONSTRUCTION WITH PERMIT
- 3400 - CONSTRUCTION WITH PERMIT
- 3500 - CONSTRUCTION WITH PERMIT
- 3600 - CONSTRUCTION WITH PERMIT
- 3700 - CONSTRUCTION WITH PERMIT
- 3800 - CONSTRUCTION WITH PERMIT
- 3900 - CONSTRUCTION WITH PERMIT
- 4000 - CONSTRUCTION WITH PERMIT
- 4100 - CONSTRUCTION WITH PERMIT
- 4200 - CONSTRUCTION WITH PERMIT
- 4300 - CONSTRUCTION WITH PERMIT
- 4400 - CONSTRUCTION WITH PERMIT
- 4500 - CONSTRUCTION WITH PERMIT
- 4600 - CONSTRUCTION WITH PERMIT
- 4700 - CONSTRUCTION WITH PERMIT
- 4800 - CONSTRUCTION WITH PERMIT
- 4900 - CONSTRUCTION WITH PERMIT
- 5000 - CONSTRUCTION WITH PERMIT
- 5100 - CONSTRUCTION WITH PERMIT
- 5200 - CONSTRUCTION WITH PERMIT
- 5300 - CONSTRUCTION WITH PERMIT
- 5400 - CONSTRUCTION WITH PERMIT
- 5500 - CONSTRUCTION WITH PERMIT
- 5600 - CONSTRUCTION WITH PERMIT
- 5700 - CONSTRUCTION WITH PERMIT
- 5800 - CONSTRUCTION WITH PERMIT
- 5900 - CONSTRUCTION WITH PERMIT
- 6000 - CONSTRUCTION WITH PERMIT
- 6100 - CONSTRUCTION WITH PERMIT
- 6200 - CONSTRUCTION WITH PERMIT
- 6300 - CONSTRUCTION WITH PERMIT
- 6400 - CONSTRUCTION WITH PERMIT
- 6500 - CONSTRUCTION WITH PERMIT
- 6600 - CONSTRUCTION WITH PERMIT
- 6700 - CONSTRUCTION WITH PERMIT
- 6800 - CONSTRUCTION WITH PERMIT
- 6900 - CONSTRUCTION WITH PERMIT
- 7000 - CONSTRUCTION WITH PERMIT
- 7100 - CONSTRUCTION WITH PERMIT
- 7200 - CONSTRUCTION WITH PERMIT
- 7300 - CONSTRUCTION WITH PERMIT
- 7400 - CONSTRUCTION WITH PERMIT
- 7500 - CONSTRUCTION WITH PERMIT
- 7600 - CONSTRUCTION WITH PERMIT
- 7700 - CONSTRUCTION WITH PERMIT
- 7800 - CONSTRUCTION WITH PERMIT
- 7900 - CONSTRUCTION WITH PERMIT
- 8000 - CONSTRUCTION WITH PERMIT
- 8100 - CONSTRUCTION WITH PERMIT
- 8200 - CONSTRUCTION WITH PERMIT
- 8300 - CONSTRUCTION WITH PERMIT
- 8400 - CONSTRUCTION WITH PERMIT
- 8500 - CONSTRUCTION WITH PERMIT
- 8600 - CONSTRUCTION WITH PERMIT
- 8700 - CONSTRUCTION WITH PERMIT
- 8800 - CONSTRUCTION WITH PERMIT
- 8900 - CONSTRUCTION WITH PERMIT
- 9000 - CONSTRUCTION WITH PERMIT
- 9100 - CONSTRUCTION WITH PERMIT
- 9200 - CONSTRUCTION WITH PERMIT
- 9300 - CONSTRUCTION WITH PERMIT
- 9400 - CONSTRUCTION WITH PERMIT
- 9500 - CONSTRUCTION WITH PERMIT
- 9600 - CONSTRUCTION WITH PERMIT
- 9700 - CONSTRUCTION WITH PERMIT
- 9800 - CONSTRUCTION WITH PERMIT
- 9900 - CONSTRUCTION WITH PERMIT
- 10000 - CONSTRUCTION WITH PERMIT

**TOTAL UNITS**

TO: SLAB - LEVEL 2	UNIT COUNT
TYPE 1 - 1 BEDROOM	1
TYPE 2 - 1 BEDROOM	1
TYPE 3 - 1 BEDROOM	1
TYPE 4 - 1 BEDROOM	1
TYPE 5 - 1 BEDROOM	1
TYPE 6 - 2 BEDROOM	1
TYPE 7 - 2 BEDROOM	1
TYPE 8 - 1 BEDROOM	1
TYPE 9 - 1 BEDROOM (ADA)	1
<b>TOTAL UNITS</b>	<b>9</b>

**TOTAL UNITS**

TO: SLAB - LEVEL 3	UNIT COUNT
TYPE 1 - 1 BEDROOM	1
TYPE 2 - 1 BEDROOM	1
TYPE 3 - 1 BEDROOM	1
TYPE 4 - 1 BEDROOM	1
TYPE 5 - 1 BEDROOM	1
TYPE 6 - 2 BEDROOM	1
TYPE 7 - 2 BEDROOM	1
TYPE 8 - 1 BEDROOM	1
TYPE 9 - 1 BEDROOM (ADA)	1
<b>TOTAL UNITS</b>	<b>9</b>

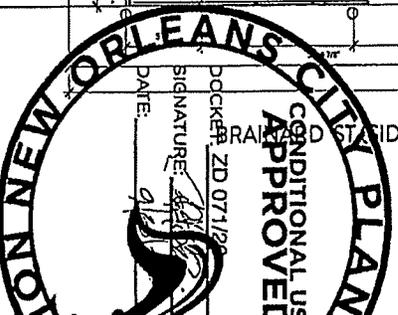
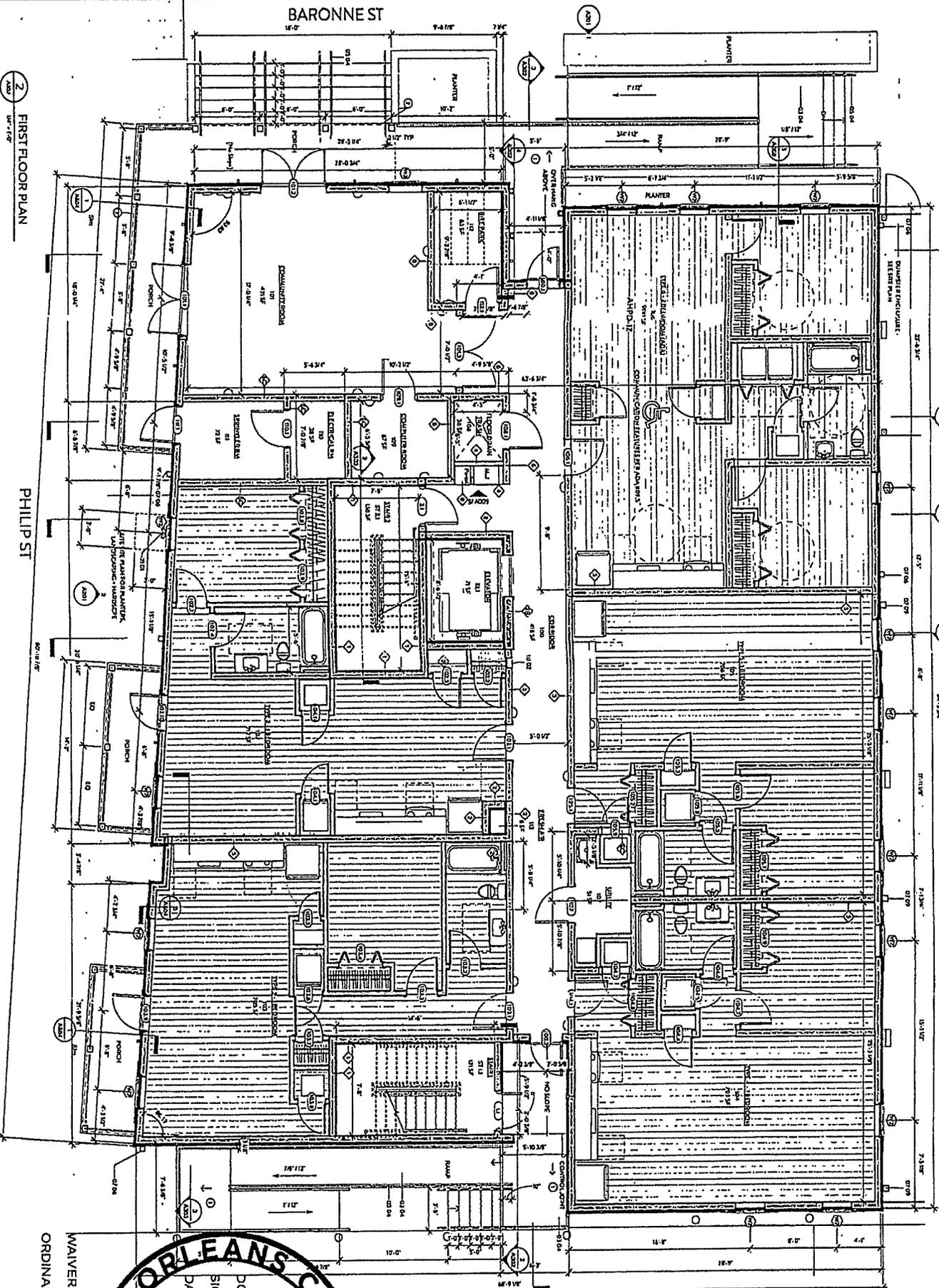
TOTAL UNITS

2 FIRST FLOOR PLAN

PHILIP ST

BARONNE ST

JACKSON ST (SIDE)

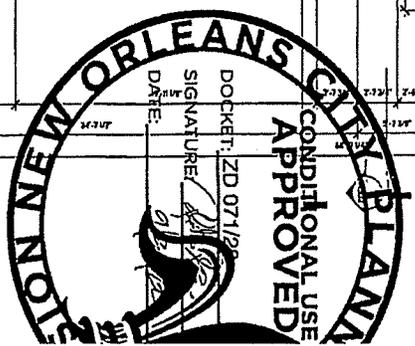
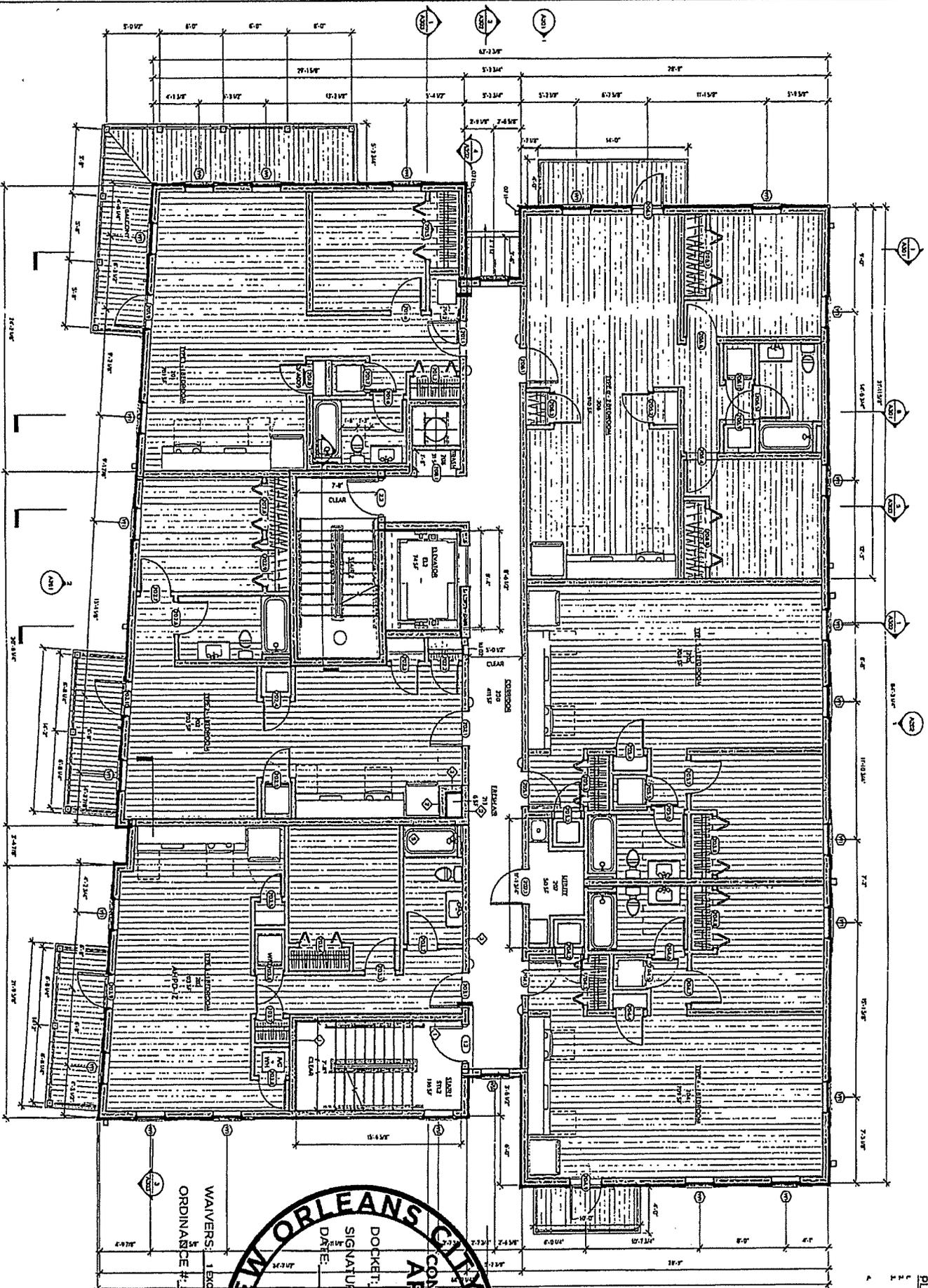


DOCKET # ZD 07-1196  
 SIGNATURE: [Signature]  
 DATE: 9/12/07

WAIVERS: 1 EXEMPTION PROVISIO  
 ORDINANCE # 28574 WGS ADOPTED

- PLAN GENERAL NOTES**
1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
  2. All materials and workmanship shall conform to the requirements of the IBC and IRC.
  3. All dimensions shall be in feet and inches, unless otherwise noted.
  4. All work shall be completed within the specified time frame.
- KEYNOTE LEGEND**
- 0104 CONCRETE IN STRUCTURAL
  - 0204 SET IN SAND SYSTEM, FINISH
  - 0304 SET IN SAND SYSTEM, FINISH
  - 0404 SET IN SAND SYSTEM, FINISH
  - 0504 SET IN SAND SYSTEM, FINISH
  - 0604 SET IN SAND SYSTEM, FINISH
  - 0704 SET IN SAND SYSTEM, FINISH
  - 0804 SET IN SAND SYSTEM, FINISH
  - 0904 SET IN SAND SYSTEM, FINISH
  - 1004 SET IN SAND SYSTEM, FINISH
  - 1104 SET IN SAND SYSTEM, FINISH
  - 1204 SET IN SAND SYSTEM, FINISH
  - 1304 SET IN SAND SYSTEM, FINISH
  - 1404 SET IN SAND SYSTEM, FINISH
  - 1504 SET IN SAND SYSTEM, FINISH
  - 1604 SET IN SAND SYSTEM, FINISH
  - 1704 SET IN SAND SYSTEM, FINISH
  - 1804 SET IN SAND SYSTEM, FINISH
  - 1904 SET IN SAND SYSTEM, FINISH
  - 2004 SET IN SAND SYSTEM, FINISH
- FLOOR FINISH LEGEND**
- 0104 CONCRETE FLOOR
  - 0204 CONCRETE FLOOR WITH POLISHED FINISH
  - 0304 CONCRETE FLOOR WITH POLISHED FINISH
  - 0404 CONCRETE FLOOR WITH POLISHED FINISH
  - 0504 CONCRETE FLOOR WITH POLISHED FINISH
  - 0604 CONCRETE FLOOR WITH POLISHED FINISH
  - 0704 CONCRETE FLOOR WITH POLISHED FINISH
  - 0804 CONCRETE FLOOR WITH POLISHED FINISH
  - 0904 CONCRETE FLOOR WITH POLISHED FINISH
  - 1004 CONCRETE FLOOR WITH POLISHED FINISH
  - 1104 CONCRETE FLOOR WITH POLISHED FINISH
  - 1204 CONCRETE FLOOR WITH POLISHED FINISH
  - 1304 CONCRETE FLOOR WITH POLISHED FINISH
  - 1404 CONCRETE FLOOR WITH POLISHED FINISH
  - 1504 CONCRETE FLOOR WITH POLISHED FINISH
  - 1604 CONCRETE FLOOR WITH POLISHED FINISH
  - 1704 CONCRETE FLOOR WITH POLISHED FINISH
  - 1804 CONCRETE FLOOR WITH POLISHED FINISH
  - 1904 CONCRETE FLOOR WITH POLISHED FINISH
  - 2004 CONCRETE FLOOR WITH POLISHED FINISH
- SHEET NOTES**
1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
  2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES, UNLESS OTHERWISE NOTED.
  3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  4. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE IBC AND IRC.

2 SECOND FLOOR PLAN



WAIVERS: 1 EXEMPTION PROVISOS:  
 ORDINANCE #: 28 574 MMS ADOPTED:  
 FLOOR FINISH LEGI

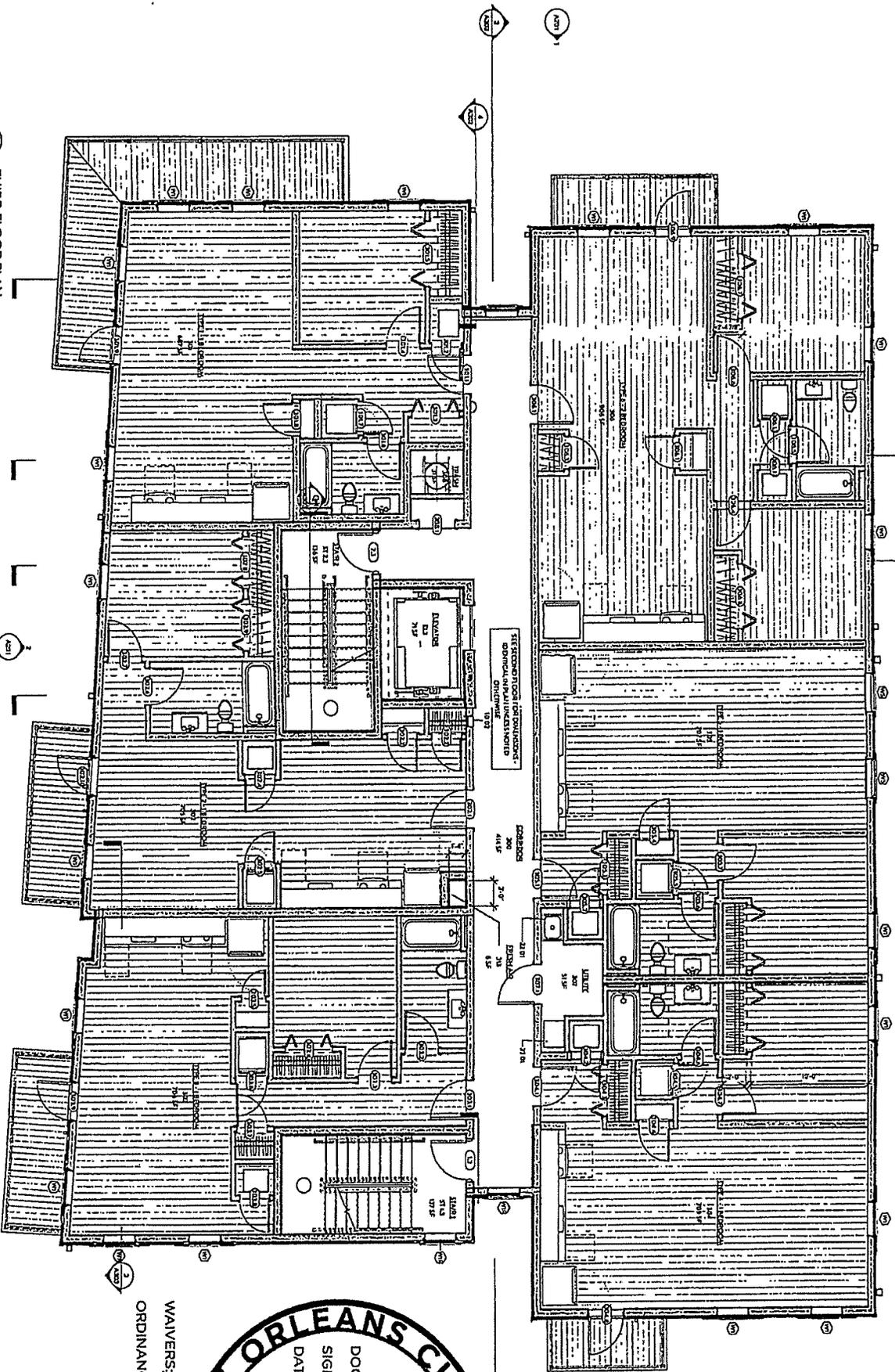
- LEAD CONCRETE SLAB
- VENT BOARD FLOOR FINISH

**PLAN GENERAL NOTES**

1. Construction shall be in accordance with the City of New Orleans Building Code and all applicable codes and regulations.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of New Orleans.
3. The contractor shall be responsible for obtaining all necessary approvals from the City of New Orleans.
4. The contractor shall be responsible for obtaining all necessary approvals from the City of New Orleans.

DATE: 6/22/2022 9:12:10 AM  
 1433102.01.01

1 THIRD FLOOR PLAN



- PLAN GENERAL NOTES**
1. Refer to the notes on the first sheet of this set.
  2. All work shall be in accordance with the latest editions of the International Building Code and the International Residential Code, unless otherwise specified.
  3. All materials and workmanship shall be in accordance with the specifications and standards of the International Building Code and the International Residential Code, unless otherwise specified.
  4. See Schedule for the details of the work.

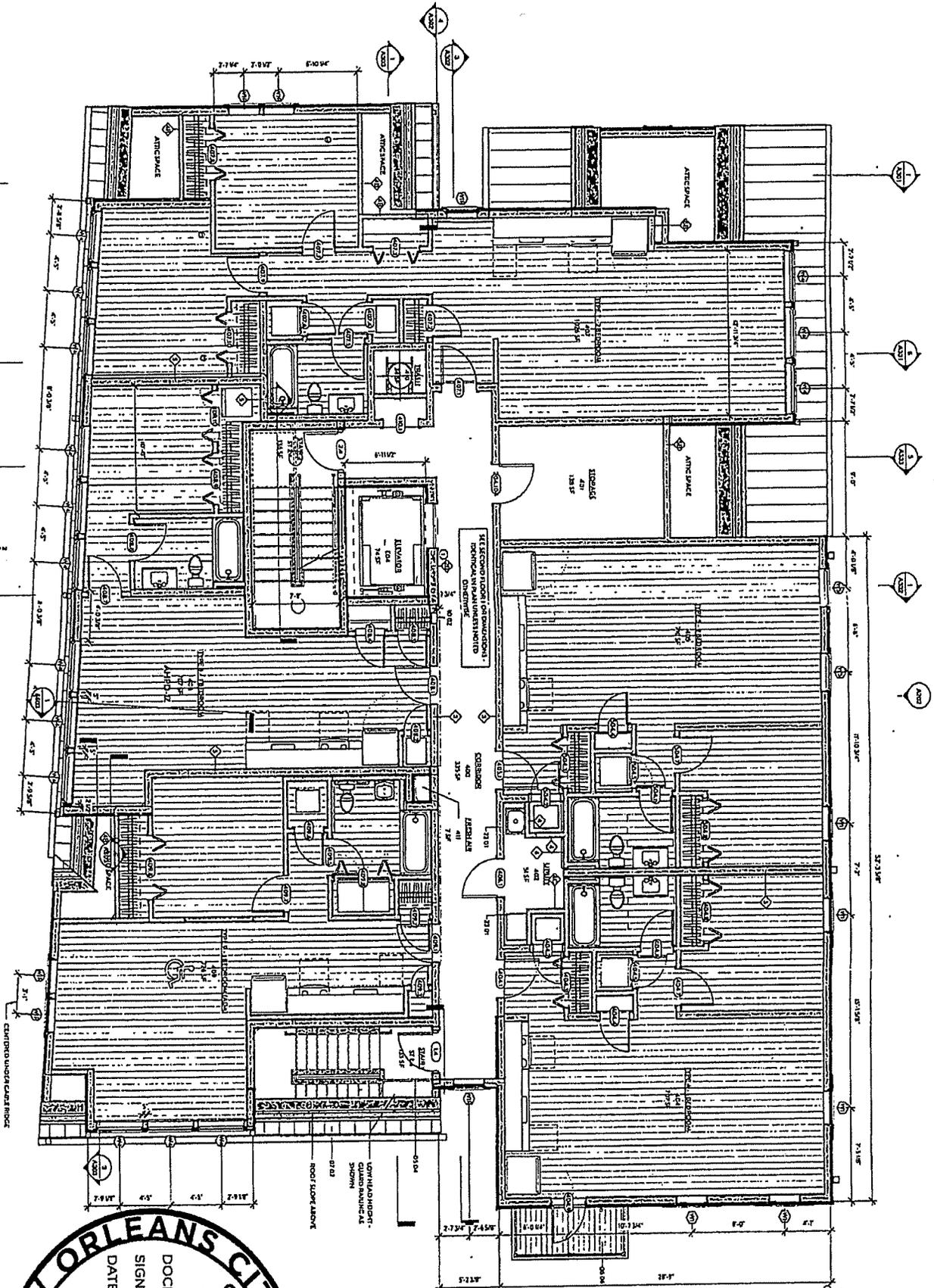
**FLOOR FINISH LEGEND**

- SOLID CORE LAMINATE
- VENEER LAMINATE OVER GYP BOARD



WAIVERS: 1 EXCEPTION PROVISOS: \_\_\_\_\_  
 ORDINANCE #: 28574 MRS. ADOPTED: \_\_\_\_\_

1  
FOURTH FLOOR PLAN



- PLAN GENERAL NOTES**
1. Drawings are shown as per set of 4 (1) & (2) & (3) & (4)
  2. Project is to be completed by the date of the drawing.
  3. All work is to be done in accordance with the specifications and standards of the City of New Orleans.
  4. See Engineering Plan for details of the structure.
- SHEET NOTES**
1. FIRST AND SECOND FLOOR ELEVATIONS FOR FINISH - SEE ELEVATION SPECIFICATIONS.

- FLOOR FINISH LEGS**
- [ ] STAINLESS STEEL
  - [ ] VENEER FLOOR FINISH

**NEW ORLEANS CITY PLAN**

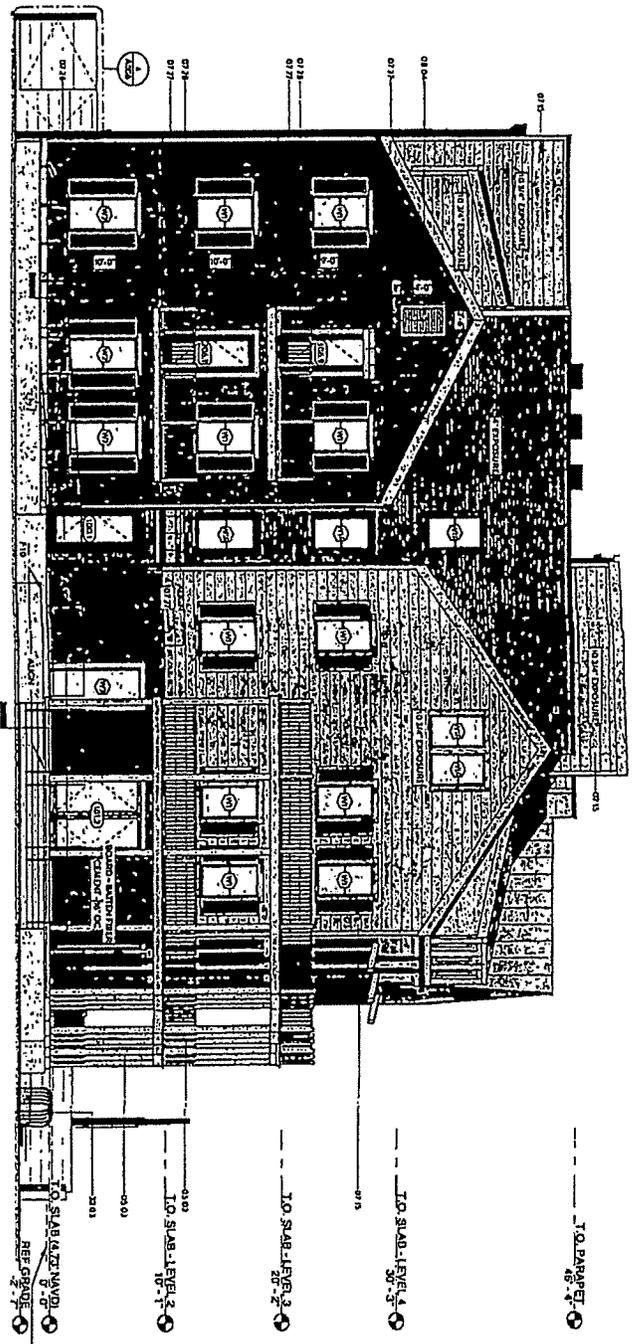
**CONDITIONAL USE APPROVAL**

DOCKET: ZD 071128  
SIGNATURE: \_\_\_\_\_  
DATE: 9/1/12

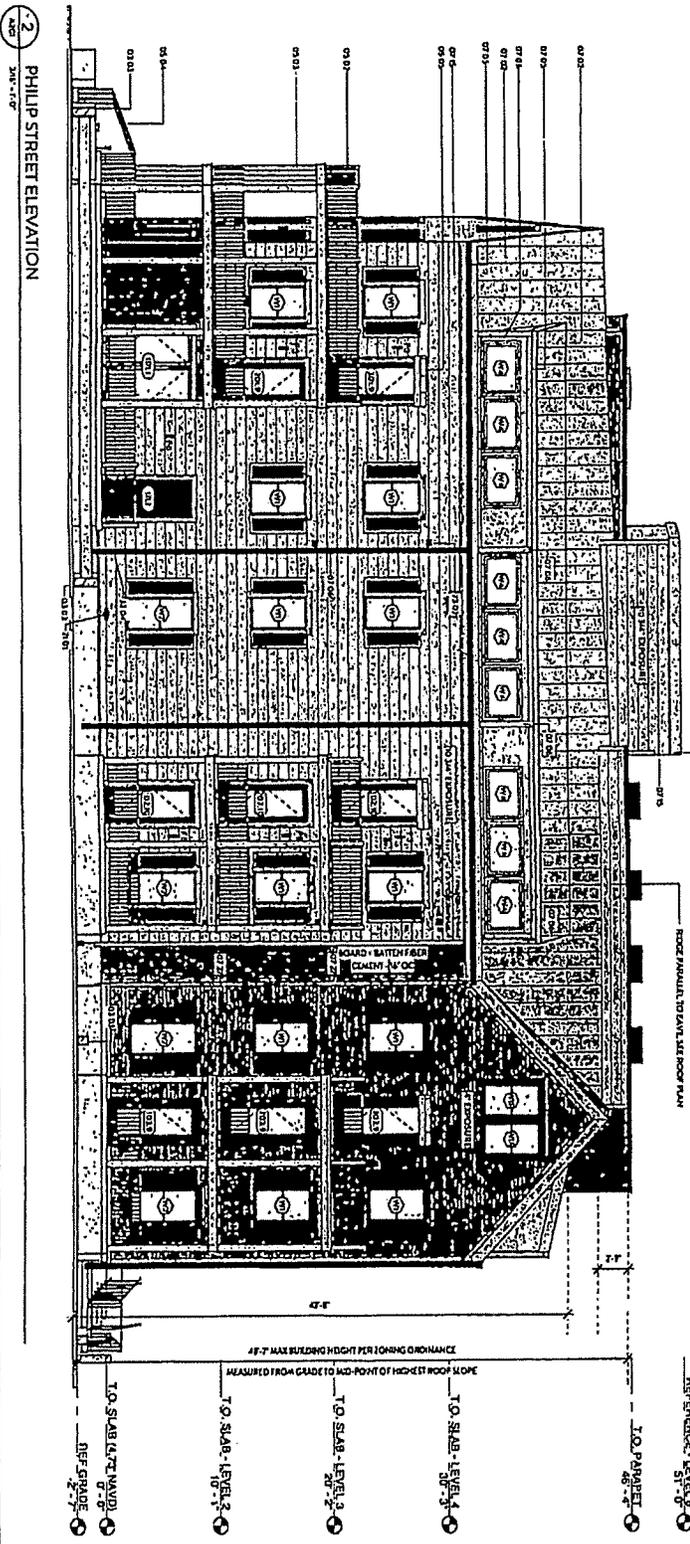
WAIVERS: 1 EXCEPTION PROVISIO  
ORDINANCE #: 29574.MS ADOPTED

10/1/12  
10/1/12  
10/1/12





1 BARONNE STREET ELEVATION  
SHEET 1-12



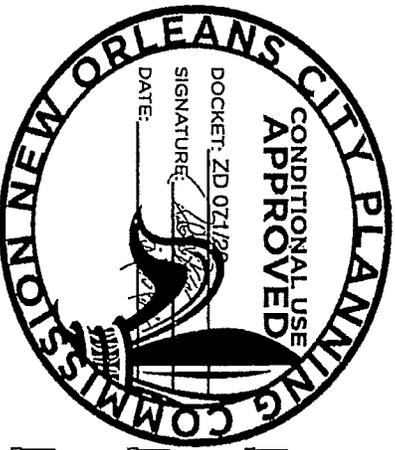
2 PHILIP STREET ELEVATION  
SHEET 1-13

- ELEVATION GENERAL**
1. All work shall be done in accordance with the Code of the City of New Orleans, Louisiana, and the provisions of all applicable laws, ordinances, and regulations.
  2. The contractor shall be responsible for obtaining all necessary permits and licenses.
  3. The contractor shall be responsible for the safety of all workers and the public.
  4. The contractor shall be responsible for the protection of all existing structures and utilities.
  5. The contractor shall be responsible for the cleanup of all construction debris.

CONFORM WITH ROOM ELEVATION  
GENERAL CONTRACTOR  
DATE: 11/1/2011

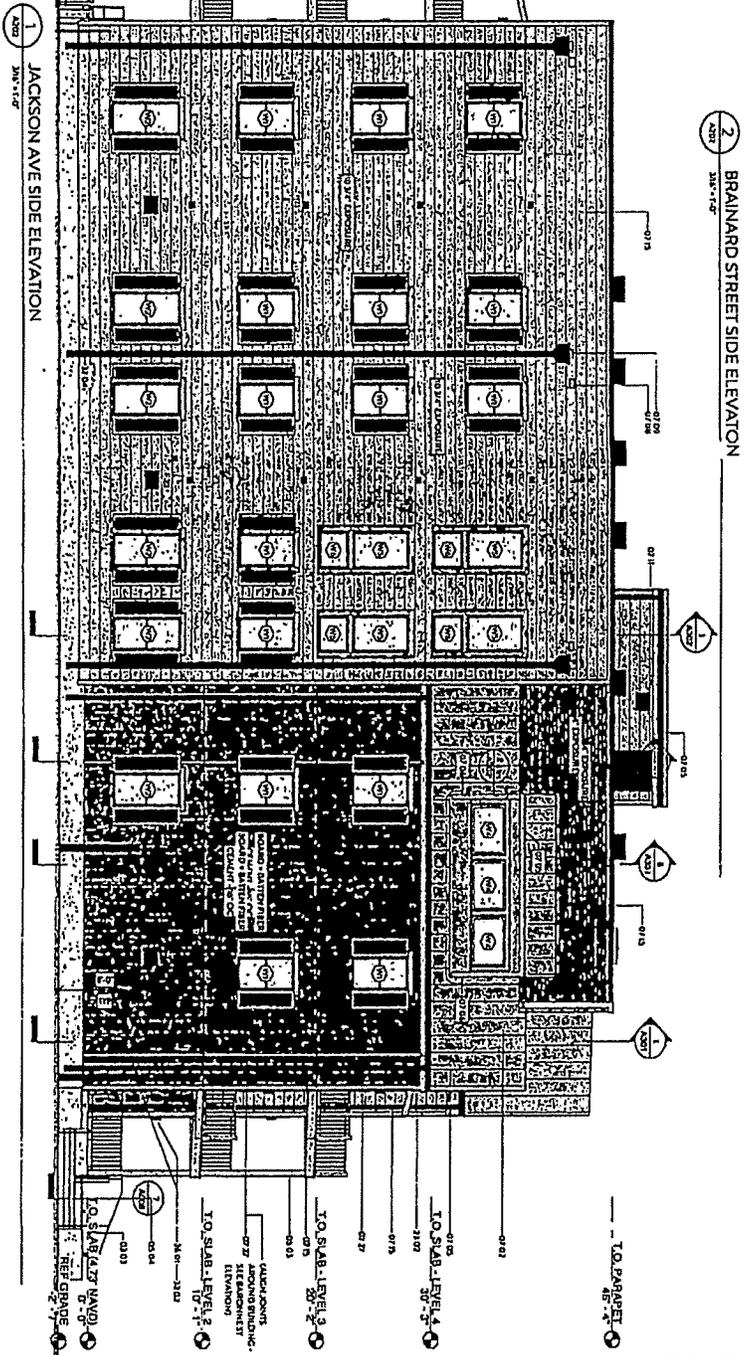
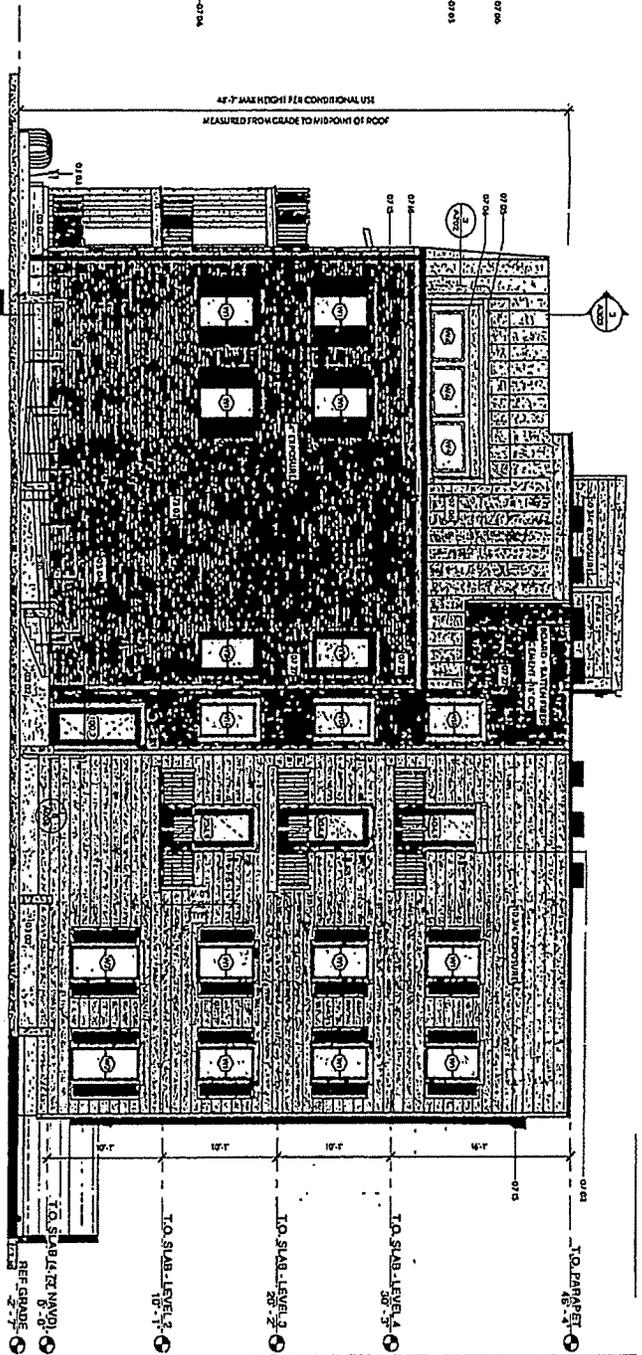
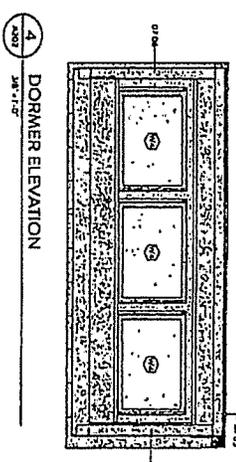
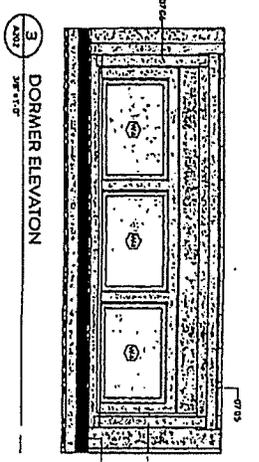


WAIVERS: 1 EXCEPTION PROVISIC  
ORDINANCE #: 28,574 MGS. ADOPTED  
DATE: 11/1/2011



DOCKET: ZD 021122  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

WAIVERS: 1 EXCEPTION PROVISOS: 17  
 ORDINANCE #: 26574 M.C.S. ADOPTED: 1/19/21



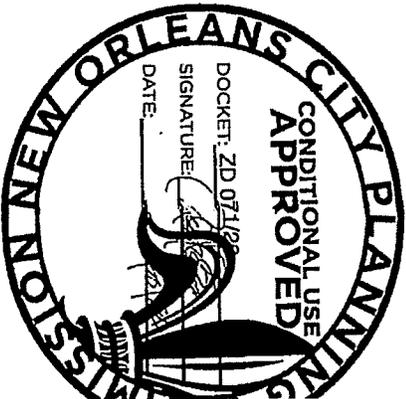
- ELEVATION GENERAL**
1. General notes and conditions apply to all elevations.
  2. Elevation drawings are not to be used for construction purposes without the approval of the architect.
  3. All elevations shall be in accordance with the applicable code requirements.
  4. All elevations shall be in accordance with the applicable code requirements.

- KEYNOTE LEGEND**
- 03-01 CONCRETE WITH GROUT JAMB
  - 03-02 CONCRETE WITH GROUT JAMB
  - 03-03 CONCRETE WITH GROUT JAMB
  - 03-04 STEEL FRAMED W/RA STRUCTURE
  - 03-05 STEEL FRAMED W/RA STRUCTURE
  - 03-06 STEEL FRAMED W/RA STRUCTURE
  - 03-07 STEEL FRAMED W/RA STRUCTURE
  - 03-08 STEEL FRAMED W/RA STRUCTURE
  - 03-09 STEEL FRAMED W/RA STRUCTURE
  - 03-10 STEEL FRAMED W/RA STRUCTURE
  - 03-11 STEEL FRAMED W/RA STRUCTURE
  - 03-12 STEEL FRAMED W/RA STRUCTURE
  - 03-13 STEEL FRAMED W/RA STRUCTURE
  - 03-14 STEEL FRAMED W/RA STRUCTURE
  - 03-15 STEEL FRAMED W/RA STRUCTURE
  - 03-16 STEEL FRAMED W/RA STRUCTURE
  - 03-17 STEEL FRAMED W/RA STRUCTURE
  - 03-18 STEEL FRAMED W/RA STRUCTURE
  - 03-19 STEEL FRAMED W/RA STRUCTURE
  - 03-20 STEEL FRAMED W/RA STRUCTURE
  - 03-21 STEEL FRAMED W/RA STRUCTURE
  - 03-22 STEEL FRAMED W/RA STRUCTURE
  - 03-23 STEEL FRAMED W/RA STRUCTURE
  - 03-24 STEEL FRAMED W/RA STRUCTURE
  - 03-25 STEEL FRAMED W/RA STRUCTURE
  - 03-26 STEEL FRAMED W/RA STRUCTURE
  - 03-27 STEEL FRAMED W/RA STRUCTURE
  - 03-28 STEEL FRAMED W/RA STRUCTURE
  - 03-29 STEEL FRAMED W/RA STRUCTURE
  - 03-30 STEEL FRAMED W/RA STRUCTURE
  - 03-31 STEEL FRAMED W/RA STRUCTURE
  - 03-32 STEEL FRAMED W/RA STRUCTURE
  - 03-33 STEEL FRAMED W/RA STRUCTURE
  - 03-34 STEEL FRAMED W/RA STRUCTURE
  - 03-35 STEEL FRAMED W/RA STRUCTURE
  - 03-36 STEEL FRAMED W/RA STRUCTURE
  - 03-37 STEEL FRAMED W/RA STRUCTURE
  - 03-38 STEEL FRAMED W/RA STRUCTURE
  - 03-39 STEEL FRAMED W/RA STRUCTURE
  - 03-40 STEEL FRAMED W/RA STRUCTURE
  - 03-41 STEEL FRAMED W/RA STRUCTURE
  - 03-42 STEEL FRAMED W/RA STRUCTURE
  - 03-43 STEEL FRAMED W/RA STRUCTURE
  - 03-44 STEEL FRAMED W/RA STRUCTURE
  - 03-45 STEEL FRAMED W/RA STRUCTURE
  - 03-46 STEEL FRAMED W/RA STRUCTURE
  - 03-47 STEEL FRAMED W/RA STRUCTURE
  - 03-48 STEEL FRAMED W/RA STRUCTURE
  - 03-49 STEEL FRAMED W/RA STRUCTURE
  - 03-50 STEEL FRAMED W/RA STRUCTURE
  - 03-51 STEEL FRAMED W/RA STRUCTURE
  - 03-52 STEEL FRAMED W/RA STRUCTURE
  - 03-53 STEEL FRAMED W/RA STRUCTURE
  - 03-54 STEEL FRAMED W/RA STRUCTURE
  - 03-55 STEEL FRAMED W/RA STRUCTURE
  - 03-56 STEEL FRAMED W/RA STRUCTURE
  - 03-57 STEEL FRAMED W/RA STRUCTURE
  - 03-58 STEEL FRAMED W/RA STRUCTURE
  - 03-59 STEEL FRAMED W/RA STRUCTURE
  - 03-60 STEEL FRAMED W/RA STRUCTURE
  - 03-61 STEEL FRAMED W/RA STRUCTURE
  - 03-62 STEEL FRAMED W/RA STRUCTURE
  - 03-63 STEEL FRAMED W/RA STRUCTURE
  - 03-64 STEEL FRAMED W/RA STRUCTURE
  - 03-65 STEEL FRAMED W/RA STRUCTURE
  - 03-66 STEEL FRAMED W/RA STRUCTURE
  - 03-67 STEEL FRAMED W/RA STRUCTURE
  - 03-68 STEEL FRAMED W/RA STRUCTURE
  - 03-69 STEEL FRAMED W/RA STRUCTURE
  - 03-70 STEEL FRAMED W/RA STRUCTURE
  - 03-71 STEEL FRAMED W/RA STRUCTURE
  - 03-72 STEEL FRAMED W/RA STRUCTURE
  - 03-73 STEEL FRAMED W/RA STRUCTURE
  - 03-74 STEEL FRAMED W/RA STRUCTURE
  - 03-75 STEEL FRAMED W/RA STRUCTURE
  - 03-76 STEEL FRAMED W/RA STRUCTURE
  - 03-77 STEEL FRAMED W/RA STRUCTURE
  - 03-78 STEEL FRAMED W/RA STRUCTURE
  - 03-79 STEEL FRAMED W/RA STRUCTURE
  - 03-80 STEEL FRAMED W/RA STRUCTURE
  - 03-81 STEEL FRAMED W/RA STRUCTURE
  - 03-82 STEEL FRAMED W/RA STRUCTURE
  - 03-83 STEEL FRAMED W/RA STRUCTURE
  - 03-84 STEEL FRAMED W/RA STRUCTURE
  - 03-85 STEEL FRAMED W/RA STRUCTURE
  - 03-86 STEEL FRAMED W/RA STRUCTURE
  - 03-87 STEEL FRAMED W/RA STRUCTURE
  - 03-88 STEEL FRAMED W/RA STRUCTURE
  - 03-89 STEEL FRAMED W/RA STRUCTURE
  - 03-90 STEEL FRAMED W/RA STRUCTURE
  - 03-91 STEEL FRAMED W/RA STRUCTURE
  - 03-92 STEEL FRAMED W/RA STRUCTURE
  - 03-93 STEEL FRAMED W/RA STRUCTURE
  - 03-94 STEEL FRAMED W/RA STRUCTURE
  - 03-95 STEEL FRAMED W/RA STRUCTURE
  - 03-96 STEEL FRAMED W/RA STRUCTURE
  - 03-97 STEEL FRAMED W/RA STRUCTURE
  - 03-98 STEEL FRAMED W/RA STRUCTURE
  - 03-99 STEEL FRAMED W/RA STRUCTURE
  - 04-00 STEEL FRAMED W/RA STRUCTURE

**SITE LIGHTING GENERAL NO1**

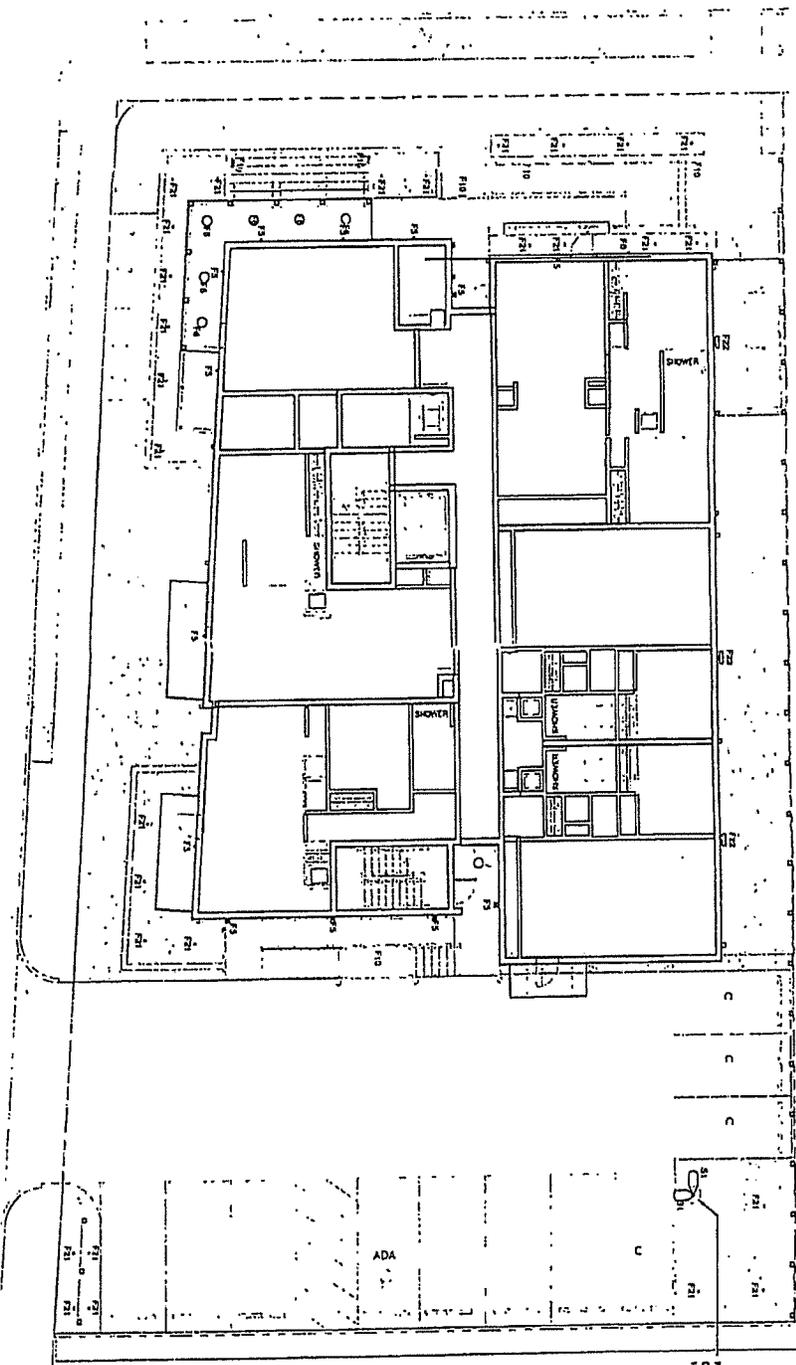
1. SUITED LANDSCAPE LIGHTS SHALL BE INSTALLED TO ILLUMINATE THE EXTERIOR OF THE BUILDING.
2. LANDSCAPE LIGHTING SHALL BE ON A MOTION SENSITIVE CONTROL.

LIGHT POLE IS LIMITED TO 12' PER SECTION 21.5.C.2 OF THE COMPREHENSIVE ZONING ORDINANCE



DOCKET: ZD 07112  
SIGNATURE: [Signature]  
DATE: [Date]

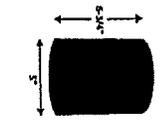
WAIVERS: 1 EXCEPTION PROVISIONS: 17  
ORDINANCE #: 28,574 MGS ADOPTED: 1/19/2



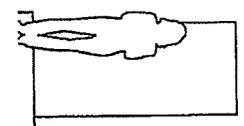
**1**  
SITE LIGHTING PLAN  
1/19/2



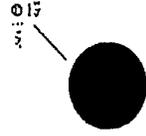
**P3 - 3' x 6' WALL SCONCE**  
HIGHLIGHT COLOR FINISH ONLY  
3000K  
4000 LUMENS



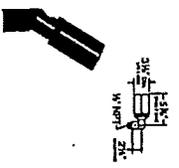
**P4 - CEILING MOUNTED CYLINDRICAL LIGHT**  
PROJECTED DOWNLIGHT FINISH ONLY  
3000K  
4000 LUMENS



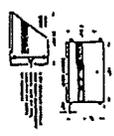
**P8 - OUTDOOR TRIP LIGHT**  
CEILING MOUNTED LED STRIP LIGHT FINISH ONLY  
3000K  
200 LUMENS



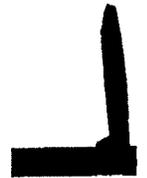
**P7 - TRACK DOWNLIGHT LIGHT**  
HIGHLIGHT COLOR FINISH ONLY  
3000K  
400 LUMENS



**P1 - RECESSED CEILING LIGHT**  
HIGHLIGHT COLOR FINISH ONLY  
3000K  
400 LUMENS



**P2 - BATHROOM VANITY LIGHT**  
CEILING FIXTURE, NO LIGHT KIT  
3000K  
400 LUMENS



**S1 - SHAWNEE POLE LIGHT**  
ULTRAWHITE FINISH, AREA LIGHT PROJECT FINISH ONLY  
3000K  
4000 LUMENS (EACH HEAD)

DATE: 1/19/2  
TIME: 10:00 AM  
DRAWN BY: [Name]  
SCALE: 1/8\"/>

TYPE	Lighting Fixture Schedule
P1	RECESSED CEILING LIGHT
P2	BATHROOM VANITY LIGHT
P3	CEILING FIX, NO LIGHT KIT
P4	INTERIOR WALL SCONCE - CORRIDOR - COMMON
P5	EXTERIOR WALL SCONCE - PORCHES AND EXTERIOR
P6	EXTERIOR CEILING MOUNTED - ENTRANCES AND DE
P7	INTERIOR CEILING MOUNTED UTILITY LIGHT
P8	INTERIOR WALL SCONCE - LIGHT ENTRANCE
P9	LED LINEAR UNDER-CABINET
P10	STEP LIGHT
P11	DAMP RATED RECESSED CAN
P12	SEALED LANDSCAPE LIGHT
P13	EXTERIOR WALL MOUNTED SECURITY LIGHT
M1	BATHROOM EXHAUST FAN - NO LIGHT
S1	POLE LIGHT

1340 Poydras Street, 4th Floor  
New Orleans, Louisiana 70112



Land Records Division  
Telephone (504) 407-0005

**Chelsey Richard Napoleon**  
**Clerk of Court and Ex-Officio Recorder**  
Parish of Orleans

**DOCUMENT RECORDATION INFORMATION**

Instrument Number: 2022-43141

Recording Date: 11/9/2022 12:02:37 PM

Document Type: APPROVED ZONING PLANS

Addtl Titles Doc Types:

Conveyance Instrument Number: 719306

Filed by: REO, LLC  
927 POEYFARRE ST  
NEW ORLEANS LA 70130