

City Planning Commission
Staff Report
Tuesday, June 9, 2026

Zoning Docket 063-26

Prepared by: Haley Molina

Date: June 10, 2026

Deadline for CPC action: August 8, 2026

CC Deadline: 60 days from receipt

City Council District: B - Harris

Applicant: Wells One Investments, LLC

Request: Conditional use to permit a bed-and-breakfast (accessory) in an HU-MU Historic Urban Mixed-Use District and the Transient Lodging Interim Zoning District

Property description: Square 211, Lot A, in the First Municipal District, bounded by Carondelet Street, Thalia Street, Saint Charles Avenue and Martin Luther King Jr. Boulevard

Municipal address(es): 1428 Carondelet Street

Description

The subject property is located on Carondelet Street within the HU-MU Historic Urban Mixed-Use District and the Transient Lodging Interim Zoning District. The site is currently developed with a three-story two-family residence. The applicant proposes to convert the two-family residence into a single-family residence and to provide a total of four guest rooms. The property consists of one lot of record with an area of approximately 4,043 square feet. Three off-street parking spaces are required. Two off-street spaces are provided in the garage and the applicant is requesting a waiver for one off-street parking space.

Figure 1. Subject Site



Reason for Commission Review

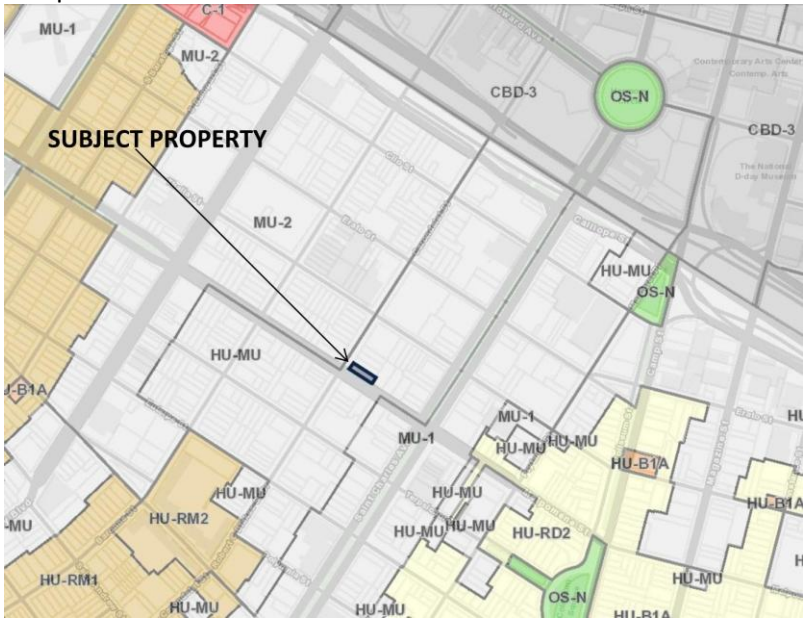
A bed-and-breakfast (accessory) is a conditional use within the HU-MU District pursuant to Article 12, Section 12.2.A (Table 12-1). [City Council Motion M-25-530](#), which established the Transient Lodging Interim Zoning District, requires that all transient lodging uses otherwise permitted by right in the underlying zoning district be reclassified as conditional uses, while all transient lodging uses that are conditional uses in the underlying zoning district remain as conditional uses.

The City Planning Commission is required to make a recommendation on all conditional use applications prior to City Council action, in accordance with **Article 4, Section 4.3.D.3 – Action by the City Planning Commission** of the Comprehensive Zoning Ordinance.

Evaluation of approval standards

The City Planning Commission recommendation and the City Council decision on applications for a conditional use shall, on the basis of all information submitted, evaluate the impact of the conditional use on and the compatibility of the use with surrounding properties and neighborhoods to ensure the appropriateness of the use at a particular location. The Commission and Council are required to specifically consider the extent to which the proposed use meets the approval standards contained in **Article 4, Section 4.3.F Approval Standards** of the Comprehensive Zoning Ordinance. In this section, the staff evaluates the application using those standards.

<i>The proposed use at the specified location is consistent with the policies embodied in the adopted Master Plan.</i>	
Met	The Mixed-Use Medium Density designation allows a variety of commercial uses. While the Master Plan does not specifically address transient lodging within the Mixed-Use Medium Density designation, such use does not conflict with the intent of the designation. The property's development style would be consistent with that of a single-family dwelling, which is permitted within this designation.
<i>The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations.</i>	
Met	The subject site is located within the HU-MU Historic Urban Mixed-Use District, where the proposed Bed and Breakfast (Accessory) is a conditional use. This district encourages mixed-use areas that are compatible with nearby land uses and pedestrian-oriented in character.
<i>The proposed use meets all standards specifically applicable to the use as set forth in Article 20 and all environmental performance standards of Section 21.3.</i>	
Not met	There are several use standards outlined in Article 20 regarding bed and breakfasts. Pursuant to Article 20, Section 20.3.I.1 Bed and Breakfast Accessory Standards , bed and breakfasts (accessory) must be single-family dwellings in appearance. Therefore, in order to operate the existing two-family residence as a bed and breakfast (accessory), the staff recommends a proviso requiring compliance with the use standards. This proviso would address the requirement

	for the applicant to make modifications to the front façade to appear as a single-family residence. The environmental standards of Article 21, Section 21.3 are met.
<i>The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods and, as required by the particular circumstances, includes improvements or modifications either on-site or within the public right-of-way to mitigate development-related adverse impacts.</i>	
Met	The petitioned site is located on Carondelet Street at the corner of Martin Luther King, Jr. Boulevard. The site is located one block from Saint Charles Avenue and two blocks from O C Haley Boulevard, both corridors that contain various commercial uses. Across the street, there are a series of two-story single-family residences. One block to the North on Carondelet Street there is the Thalia Street Hotel. Considering the various residential and commercial uses in the immediate area, the proposed bed and breakfast (accessory) would have limited impacts on existing development. Additionally, the proposed use is not anticipated to generate traffic impacts beyond those typically associated with a traditional two-family residence that currently exists, as occupancy levels and vehicle demand are comparable to residential use. 
<i>Any variance of zoning standards meets the approval standards of Section 4.6.F.</i>	
Met	Pursuant to Table 22-1, bed and breakfasts are required to provide one parking space per two guest rooms. This is in addition to the one parking space required for the single-family residence. Therefore, the proposed four-guest room bed and breakfast (accessory) would be required to provide a total of three parking spaces. Section 22.5.B.1 provides an exception for the first 5,000 sq ft of commercial uses, but only for commercial uses. Accessory bed

	and breakfasts are considered residential uses and therefore do not qualify for this exception. The first-floor plan shows a garage that is 19 ft, 1 in. wide and 23 ft deep, which would provide space for two off-street parking spaces. The staff finds that the waiver request meets the approval standards for a variance (as discussed below).
<i>The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.</i>	
Met	The proposed bed and breakfast (accessory) does not constitute a use that is materially detrimental to the public health, safety, or welfare, nor is it expected to result in material damage or prejudice to other property in the vicinity. The use will operate within an existing structure, with no expansion of the building footprint or intensification of site development. As proposed, the use is comparable in scale and impact to other permitted uses within the district.

Staff recommends the following proviso to ensure compliance with the use standards for bed and breakfasts (accessory):

1. In accordance with **Article 20, Section 20.3.I**, the use shall be in accordance with the following use standards:
 - a. Proof of operator occupancy shall be established by submission of at least three (3) pieces of proof of residence to the Department of Safety and Permits.
 - b. The bed and breakfast shall appear outwardly to be a single-family dwelling, giving no appearance of a business use other than a permitted sign.
 - c. The bed and breakfast may have one (1) attached projecting sign not to exceed four (4) square feet in area. The sign shall complement the architecture of the structure.
 - d. The bed and breakfast is limited to a maximum of five (5) units for overnight accommodation.
 - e. Cooking facilities are prohibited in individual guest rooms.
 - f. If meals are provided, only registered guests may be served.
 - g. Leasing of a common dining area for social events is prohibited.
 - h. Only one (1) Accessory Bed and Breakfast, one (1) Principal Bed and Breakfast, or one (1) Non-Commercial Short Term Rental is permitted within each city block, inclusive of all lots fronting any exterior boundary of said block and all interior lots not fronting the public right of way, may be permitted for use as a non-commercial short term rental.

Variances may be granted only when the request satisfies the nine approval standards contained in **Article 4, Section 4.6.F** of the Comprehensive Zoning Ordinance. The staff's evaluation of compliance with the nine approval standards is below.

- A1. Special conditions and circumstances exist that are peculiar to the land or structure involved and are not generally applicable to other land or structures in the same zoning district.

Met.

The subject site is only 31 feet in width, and the existing two-family structure spans nearly the full width of the lot, leaving minimal side yard area for any additional parking. The lot cannot accommodate a third off-street parking space. Narrow lots are characteristic of Central City and off-

street parking is rarely feasible. The design of the structure, that include a two-car garage on the ground floor, already departs from the established development pattern.

- A2. The special conditions and circumstances do not result from the actions of the applicant or any other person who may have had an interest in the property.

Met.

The inability to provide a third parking space is a direct result of the physical limitations of the lot and structure, not a choice made by the applicant. The applicant seeks only to convert the existing building to a single-family residence with an accessory bed and breakfast, a use permitted by conditional use in this district.

- A3. Literal interpretation of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

Met.

Strict application of the off-street parking requirement would prevent the applicant from operating an accessory bed and breakfast (with more than two units) in a district where this use is allowed by conditional use. The applicant did not create the lot width or building arrangement that prevents compliance. Additionally, Section 22.5.B.1 provides an exception for the first 5,000 sq ft of commercial uses in the HU-MU District. Accessory bed and breakfasts are considered residential uses and therefore do not qualify for this exception. Without the variance, this property would be held to a stricter standard than comparable lodging uses allowed in the district.

- A4. The request for the variance is not based primarily upon a desire to serve the convenience or profit of the property owner or other interested party.

Met.

The variance does not provide a unique or unusual competitive advantage to the applicant. Many properties in the immediate area lack off-street parking entirely due to the established urban pattern. The request simply allows the applicant to operate a permitted accessory use consistent with similar residential-lodging uses in the HU-MU district. Granting the variance aligns the site with neighborhood conditions rather than conferring a special privilege.

- A5. Strict adherence to the regulation by the owner or their agent would result in a demonstrable hardship upon the owner, as distinguished from mere inconvenience.

Met.

Strict adherence would require the owner to provide a third off-street parking space where no physical space exists. The hardship is therefore demonstrable and rooted in the physical constraints of the lot.

- B1. Granting the variance requested will not confer on the applicant any special privilege which is denied by this Ordinance to other lands or structures in the same district or otherwise similarly situated.

Met.

The variance would not grant a privilege beyond what is commonly needed and accepted for similar properties with limited parking opportunities.

- B2. The variance, if granted, will not alter the essential character of the locality.

Met.

The requested variance maintains the existing built form. The variance is fully consistent with the surrounding character with narrow lots and little to no off-street parking.

- B3. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood where the property is located.

Met.

The continued provision of two off-street parking spaces within the garage minimizes potential impacts on on-street parking. No adverse effects on neighboring properties or public welfare are anticipated.

- B4. The proposed variance will not impair an adequate supply of light and air to adjacent property, increase substantially the congestion of nearby streets, increase the danger of fire, or otherwise endanger the public safety.

Met.

The variance pertains solely to the waiver of 1 parking space. The existing supply of light, air, and circulation is unaffected, and the request does not introduce conditions that would increase congestion or endanger safety.

Additionally, City Council motion M-25-530, which created Transient Lodging Interim Zoning District, requires that applications for transient lodging facilities be evaluated against the following additional approval standards.

<i>Will the proposed Transient Lodging Use prevent the development of long-term housing, including affordable and workforce housing?</i>
The proposed transient lodging use will not prevent the development of long-term housing, including affordable and workforce housing. The site is developed with an existing two-family residence that would be converted into a single-family residence. Both uses are permitted in the district and the master plan. The property will maintain its residential with the addition of a bed and breakfast (accessory) use that can be readily returned to a traditional long-term residential use in the future.
<i>Will the proposed Transient Lodging Use reduce the amount of long-term housing, including affordable and workforce housing?</i>
The subject property is developed with an existing two-family residence that would be converted into a single-family residence that operates a bed and breakfast (accessory) with a total of four guest rooms. The proposal would reduce only one long-term housing unit beyond the existing condition.
<i>Will the proposed Transient Lodging Use be located along a major arterial street or within 600 feet of a transit stop?</i>
The site is located one block from Saint Charles Avenue, a major arterial street.
<i>Has the subject property been adjudicated liable of City Code violations related to prior Transient Lodging Uses?</i>
No, it has not as there is no past transient lodging use at the subject property.
<i>How many additional Transient Lodging Uses exist within 1,000 feet of the subject property?</i>

The Short Term Rental (STR) Map and the City's data website indicate that there are several active licensed STRs, hotels, motel, and bed and breakfasts located within 1,000 feet of the subject property.

Figure 2: Transient Lodging Uses within 1000 Feet



(Source: [STR Active Licenses](#))

(Source: [data.nola.gov](#)) – Hotels, Motels and Bed and Breakfasts

Staff Recommendation

The staff recommends **APPROVAL** of Zoning Docket 063/26 subject to the following:

Waiver

1. The applicant shall be granted a waiver of **Article 2, Section 22.4 (Table 22-1)** to allow a single-family residence to operate an bed and breakfast (accessory) that contains four (4) guest rooms to provide two (2) off-street parking spaces in lieu of three (3) off-street parking spaces.

Provisos

1. In accordance with **Article 20, Section 20.3.I**, the use shall be in accordance with the following use standards:
 - a. Proof of operator occupancy shall be established by submission of at least three (3) pieces of proof of residence to the Department of Safety and Permits.
 - b. The bed and breakfast shall appear outwardly to be a single-family dwelling, giving no appearance of a business use other than a permitted sign.
 - c. The bed and breakfast may have one (1) attached projecting sign not to exceed four (4) square feet in area. The sign shall complement the architecture of the structure.
 - d. The bed and breakfast is limited to a maximum of five (5) units for overnight accommodation.
 - e. Cooking facilities are prohibited in individual guest rooms.
 - f. If meals are provided, only registered guests may be served.
 - g. Leasing of a common dining area for social events is prohibited.
 - h. Only one (1) Accessory Bed and Breakfast, one (1) Principal Bed and Breakfast, or one (1) Non-Commercial Short Term Rental is permitted within each city block, inclusive of all lots fronting any exterior boundary of said block and all interior lots not fronting the public right of way, may be permitted for use as a non-commercial short term rental.

2. In accordance with the definition for a bed and breakfast in **Article 26**, the applicant shall legally convert to a single-family dwelling.
3. The approval of the application is limited to Transient Lodging Use and any variances specifically granted as part of this application. With the exception of any variances that are specifically granted as part of this approval, the Transient Lodging Use shall be compliant with all relevant requirements of the zoning ordinance.
4. The Department of Safety and Permits shall issue no building permits or licenses for this project until final development plans are approved by the City Planning Commission and recorded with the Office of Conveyances. Failure to complete the conditional use process by properly recording plans within a one year time period or failure to request an administrative extension as provided for in **Article 4, Section 4.3H** of the Comprehensive Zoning Ordinance will void the conditional use approval.

City Planning Commission Meeting (June 9, 2026)

The staff summarized their recommendation of approval. The representative spoke in support of the request. There were no comments in support or opposition. The commission discussed the project, including that the building will be owner-occupied and that the applicant does not object to the suggested waiver and provisos. There was also discussion about similar requests that were considered, and the preference for this proposal due to the owner being on site. Commissioner Flick made a motion to accept the staff's recommendation of approval subject to one waiver and four provisos. The motion was seconded by Commissioner Kepper and adopted.

MOTION:

BE IT MOVED BY THE CITY PLANNING COMMISSION THAT ZONING DOCKET 063/26 IS HEREBY RECOMMENDED FOR APPROVAL SUBJECT TO ONE (1) WAIVER AND FOUR (4) PROVISOS. BE IT FURTHER MOVED THAT THE EXECUTIVE DIRECTOR IS HEREBY AUTHORIZED TO NOTIFY THE CITY COUNCIL OF SAID ACTION.

Waiver

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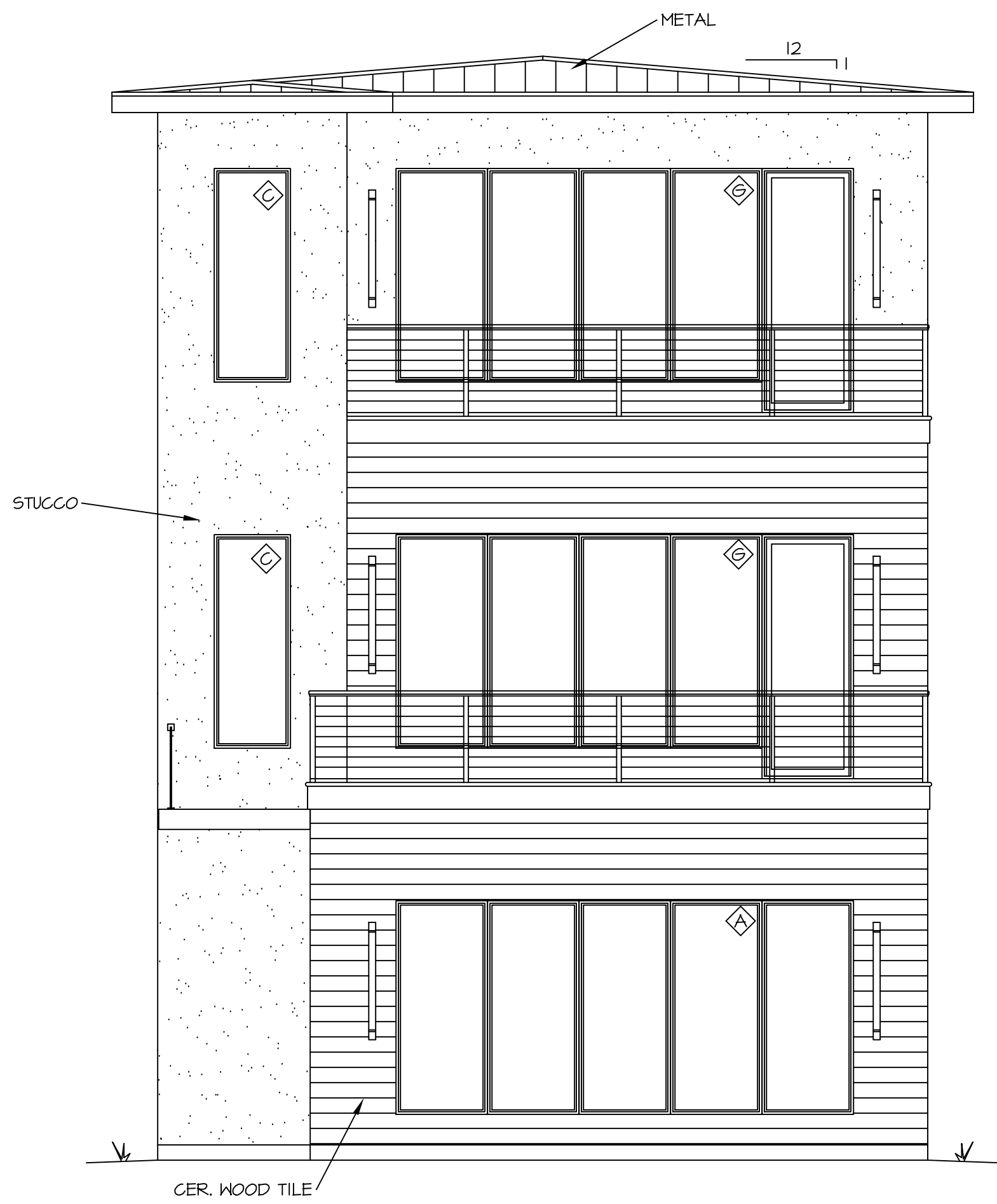
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YEAS: Flick, Hebert, Jackson, Jordan, Joshi-Gupta, Kepper, Poche, Steeg

NAYS: Witry

ABSENT: None

H



REAR ELEVATION

SCALE : 1/4" = 1'-0"

PROVIDE POWER ROOF VENTS
ON REAR SIDE OF ROOF
AS REQUIRED BY CODE

BUILDING CONSTRUCTION

THE HURRICANE RESISTANCE CONSTRUCTION FOR THIS RESIDENCE WAS DESIGNED TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE, SECTION R301.2.1, AS MANDATED BY THE EMERGENCY PROVISIONS OF LOUISIANA ACT 12 (SB44).

I HAVE RESEARCHED THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE DRAWINGS.

THE CONSTRUCTION OF THIS STRUCTURE IS TO CONFORM TO THE WIND AND FLOOD MITIGATION REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE, ASCE 7 WIND LOADS, AS WELL AS THOSE REQUIRED BY FEMA.

HURRICANE RESISTANCE CONSTRUCTION HAS BEEN DESIGNED USING THE PRESCRIPTIVE REQUIREMENTS OF THE WOOD FRAME CONSTRUCTION MANUAL, LATEST EDITION.

THE STRUCTURE HAS BEEN DESIGNED FOR :
THREE SECOND WIND GUST OF 130 MPH - BASED ON EXPOSURE B.

UPLIFT RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE ROOF TO THE FOUNDATION.

THE 2015 INTERNATIONAL RESIDENTIAL CODE APPLIES TO ONE AND TWO-FAMILY DWELLINGS NOT MORE THAN THREE STORIES ABOVE GRADE PLANE, AND THEIR ACCESSORY STRUCTURES. UNLESS NOTED OTHERWISE, ALL REVIEW COMMENTS AND CITATIONS REFERENCE THE 2015 IRC, INCLUDING ALL RELEVANT SUBSECTIONS.

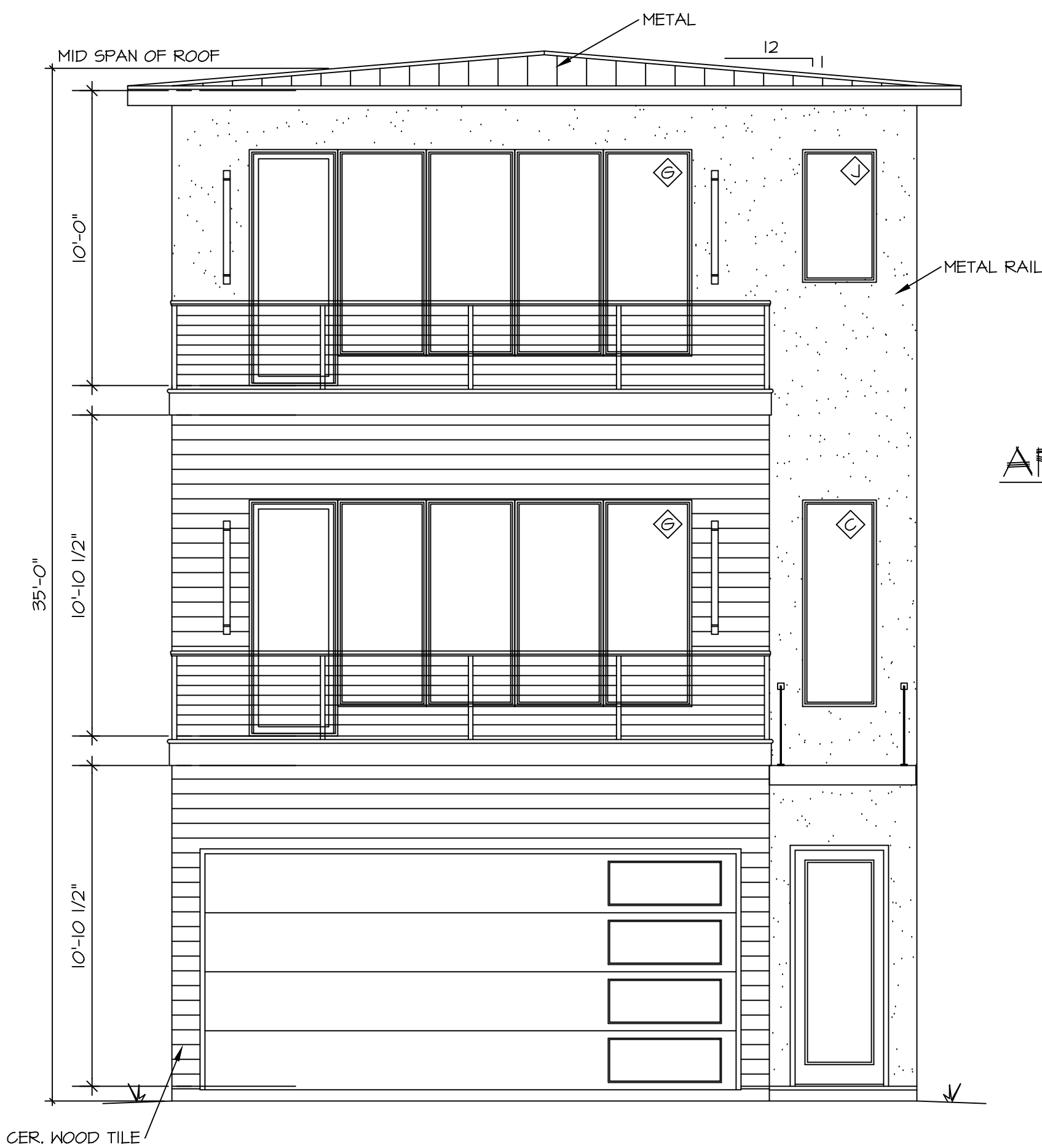
FLASHING NOTES:

1. SHEET METAL : ALL SHEET METAL WORK SHALL COMPLY THE DESIGN AND INSTALLATION DETAILS AS PUBLISHED BY SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.). WORK TO INCLUDE, BUT, NOT LIMITED TO GUTTERS, DOWN SPOUTS, EAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL COPINGS, PARAPET WALL COVERINGS, ROOF PENETRATIONS, CHIMNEY, LEDGE AND WALL FLASHINGS.

2. FLASHING : APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. FLASHING AND KEEPHOLES AT BRICK SHALL COMPLY WITH SECTIONS R103.8.5 AND R103.8.6. WALL FLASHINGS SHALL COMPLY WITH SECTIONS R103.8. ROOF FLASHING SHALL COMPLY WITH SECTION R905.2.8. IRC 2015.

GLAZED OPENING PROTECTION

ALL WINDOWS WITHOUT OPERABLE SHUTTERS SHALL BE PROVIDED WITH A MINIMUM THICKNESS OF 1/16" WOOD STRUCTURAL PANELS FOR PROTECTION OF WINDBORNE DEBRIS, AS PER SECTION 301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. THE PANELS ARE TO BE PRECUT TO COVER THE GLAZED OPENINGS, WITH A MAXIMUM SPAN OF 8' AND PROVIDED WITH ATTACHMENT HARDWARE. ATTACHMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

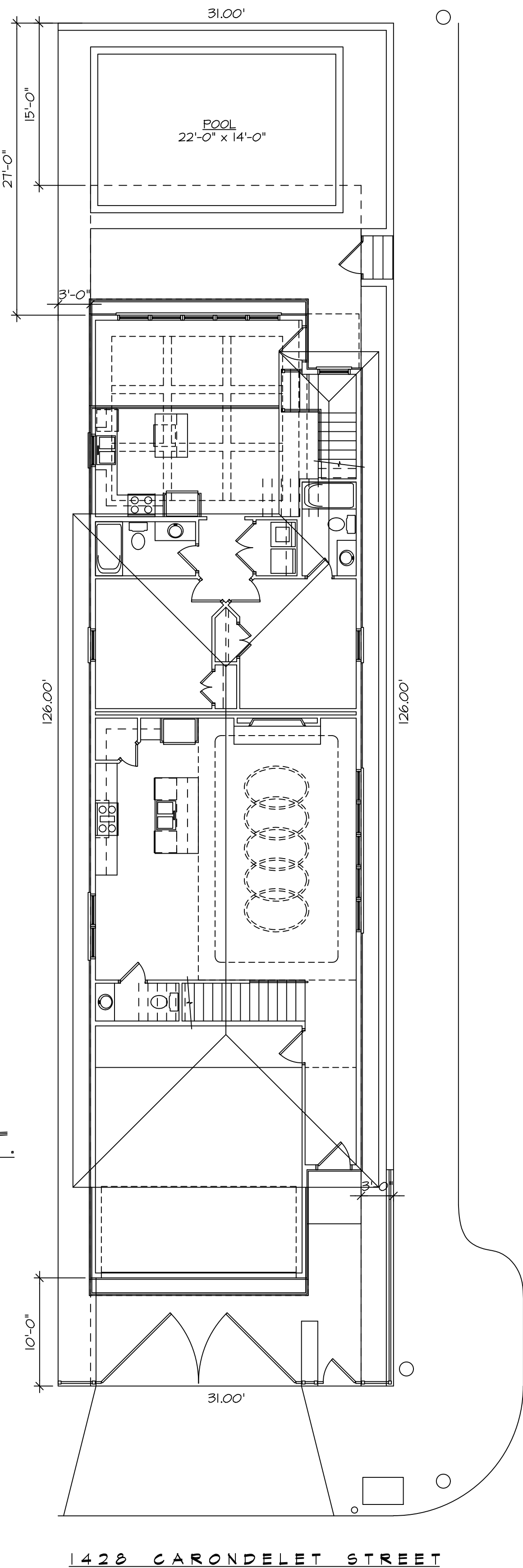
APPROXIMATE SQ. FT.

LIVING AREA

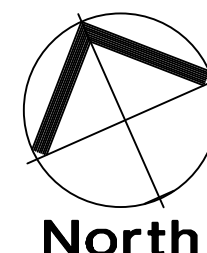
UNIT #1	
FIRST FLOOR	747 S.F.
SECOND FLOOR	1045 S.F.
THIRD FLOOR	1534 S.F.
SUBTOTAL:	3426 S.F.

UNIT #2	
FIRST FLOOR	903 S.F.
SECOND FLOOR	614 S.F.
SUBTOTAL:	1517 S.F.

PORCH	24 S.F.
F. BALCONY #1	131 S.F.
F. BALCONY #2	131 S.F.
R. BALCONY #1	224 S.F.
R. BALCONY #2	209 S.F.
GARAGE	469 S.F.
GROSS:	6131 S.F.
OPEN PATIO	250 S.F.



1428 CARONDELET STREET



SITE PLAN

SCALE : 1/8" = 1'-0"

LOT 'A'
SQUARE #211
FIRST DISTRICT
ORLEANS PARISH, LA

THIS PLAN AND SPECIFICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY CODE REQUIREMENTS. I AM NOT ADMINISTERING THE WORK.

Alteration to or deviation from the information shown on this sheet, without advance approval, in writing, from the Architect, may void Old Orleans Designs responsibility.
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2-28-2023

MARTIN LUTHER KING JR. BLVD

1428 Carondelet St.-Residence

Old Orleans Designs

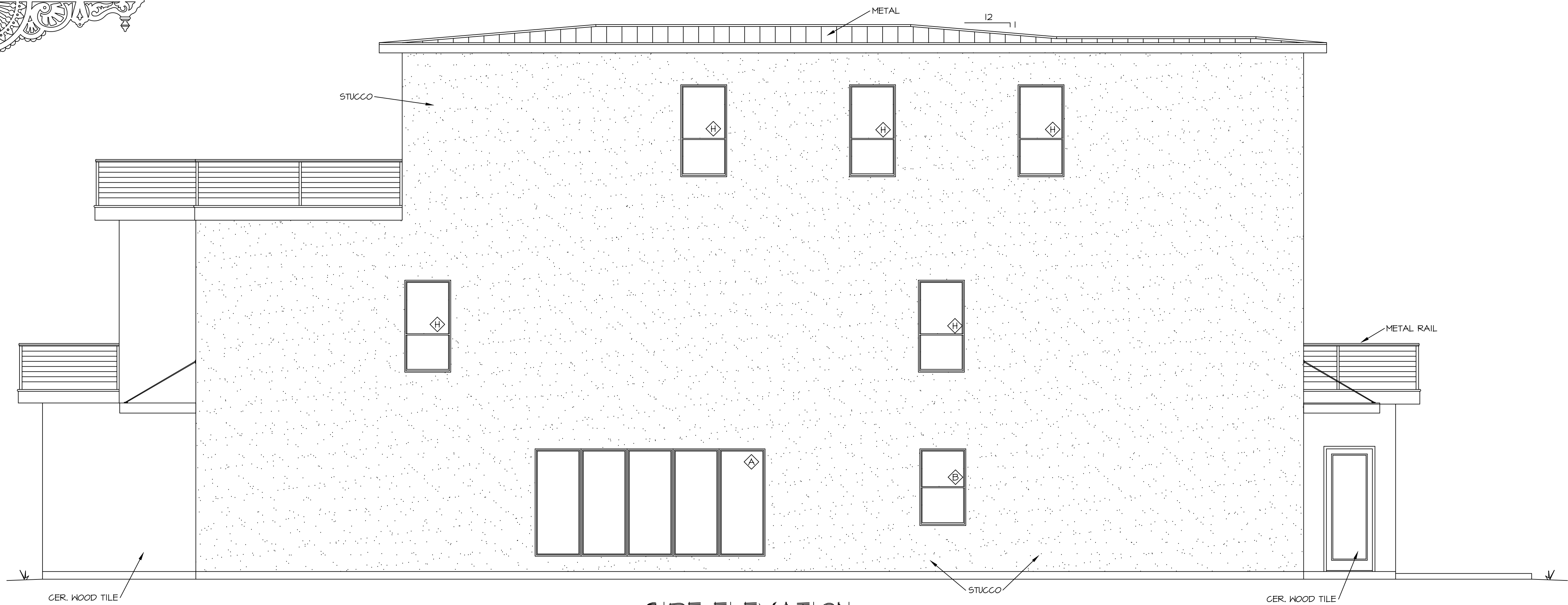
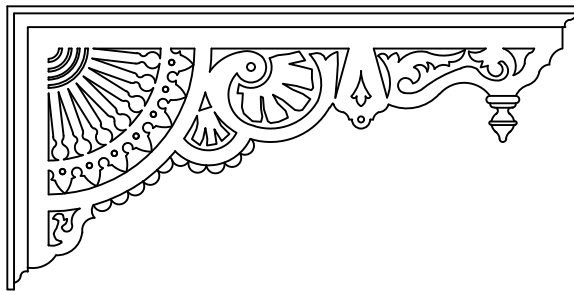
1795 W. Causeway Approach - Suite 200, Mandeville, LA 70471

Orleans Parish, LA

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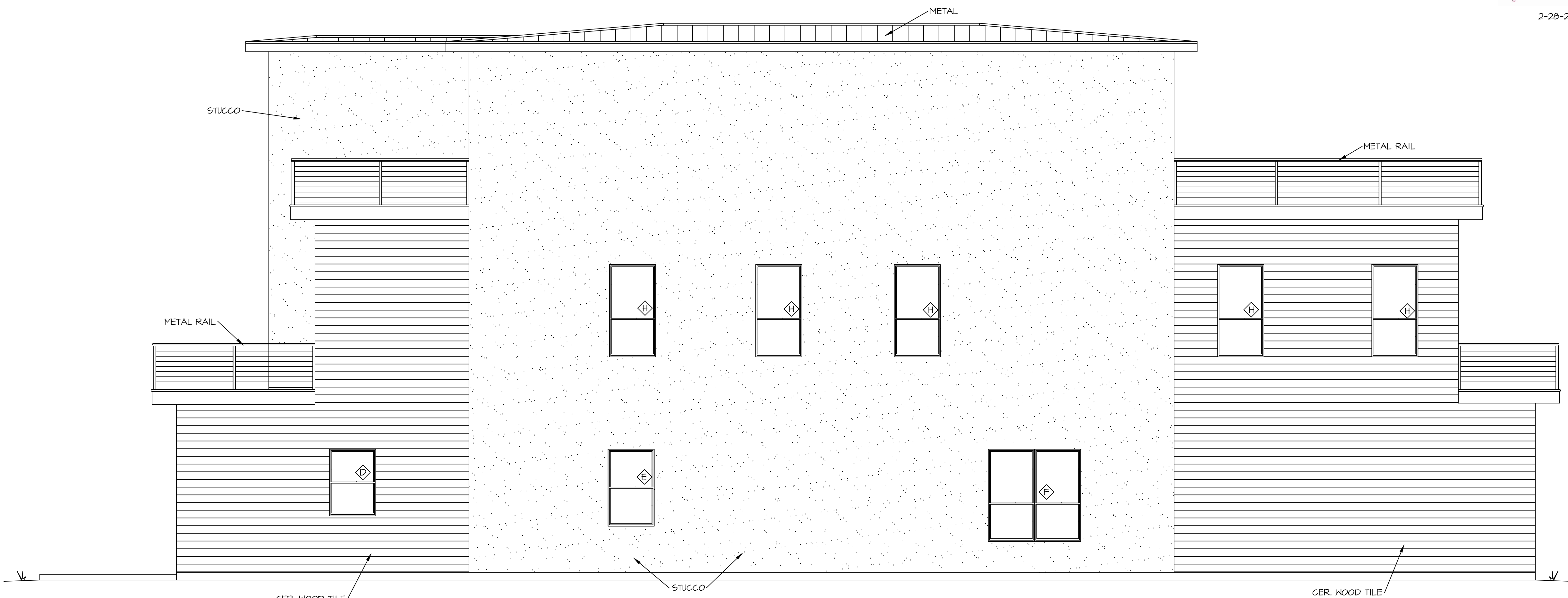
2-28-23

REV. 4-11-2023



SIDE ELEVATION

SCALE : 1/4" = 1'-0"



SIDE ELEVATION

SCALE : 1/4" = 1'-0"

ENERGY EFFICIENCY CERTIFICATE :
A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINANT R VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, CRAWLSPACE WALL AND OR FLOOR AND DUCTS OUTSIDE CONDITIONED SPACES; U FACTORS FOR FENESTRATION; AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

HEATING & COOLING EQUIPMENT :
HEATING AND COOLING EQUIPMENT SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES.

GLAZING ENERGY EFFICIENCY :
ALL FENESTRATION PRODUCTS (WINDOWS, DOORS & SKYLIGHTS) SHALL BEAR A LABEL FROM THE MANUFACTURER CERTIFYING THE U-FACTOR AND SHGC (SOLAR HEAT GAIN COEFFICIENT) FOR THE GLAZING. IRC N102.1.



2-28-2023

2-28-23

Olde Orleans Designs
1745 W. Causeway Approach - Suite 200, Mandeville, LA 70471

1428 Carondelet St.-Residence
Orleans Parish, LA

A.2
9

Alteration to or deviation from the information shown on this sheet, without advance approval in writing from the Architect, may void Olde Orleans Designs responsibility.
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SAFETY GLAZING REQUIRED

SAFETY GLAZING SHALL BE PROVIDED AT ALL HAZARDOUS LOCATIONS AS REQUIRED BY IRC 2021 R308.4. TO INCLUDE, BUT, NOT LIMITED TO THE FOLLOWING LOCATIONS.

SAFETY GLAZING TO BE PROVIDED IN SHINGING AND FIXED DOORS, FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD DOOR ASSEMBLIES.

SAFETY GLAZING TO BE PROVIDED IN BATHROOM WINDOWS AND IN STAIRWAY WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING OR WALKING SURFACE AND WITHIN 60" HORIZONTALLY OF A TUB, SHOWER OR SPA.

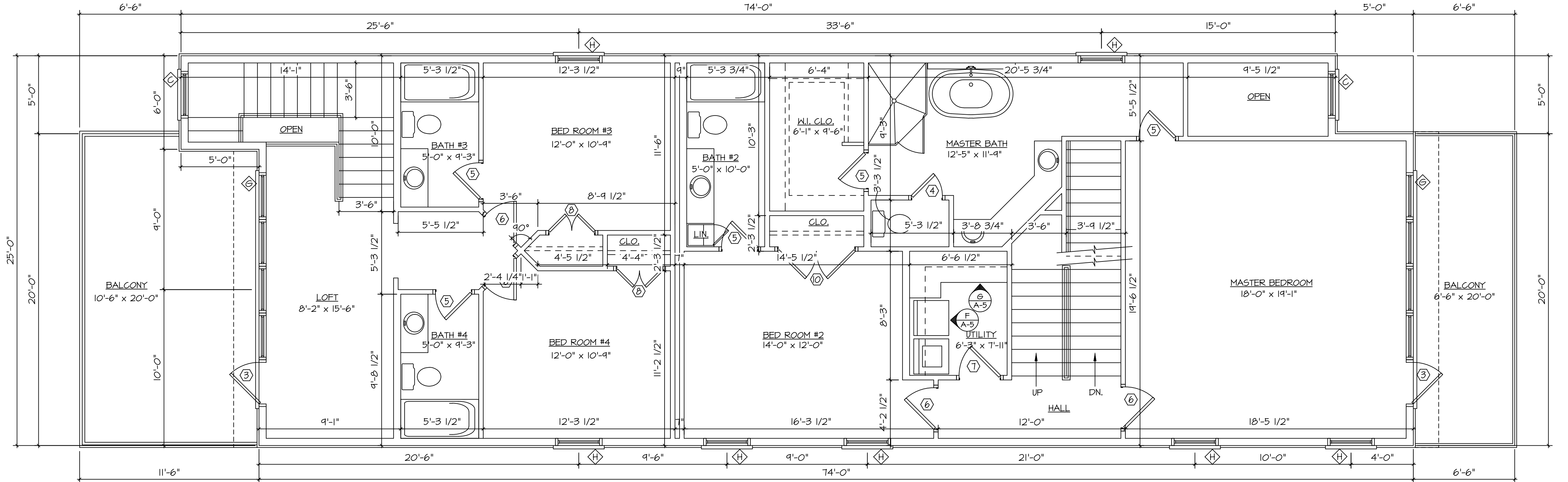
SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS, AND GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS THAT ARE IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 60 INCHES OF THE TOP OR BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE OR WITHIN 60" HORIZONTALLY OF THE BOTTOM OF THE STAIRS AT A LANDING.

FIREPLACE & HEARTH

FACTORY-BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL121. HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA.

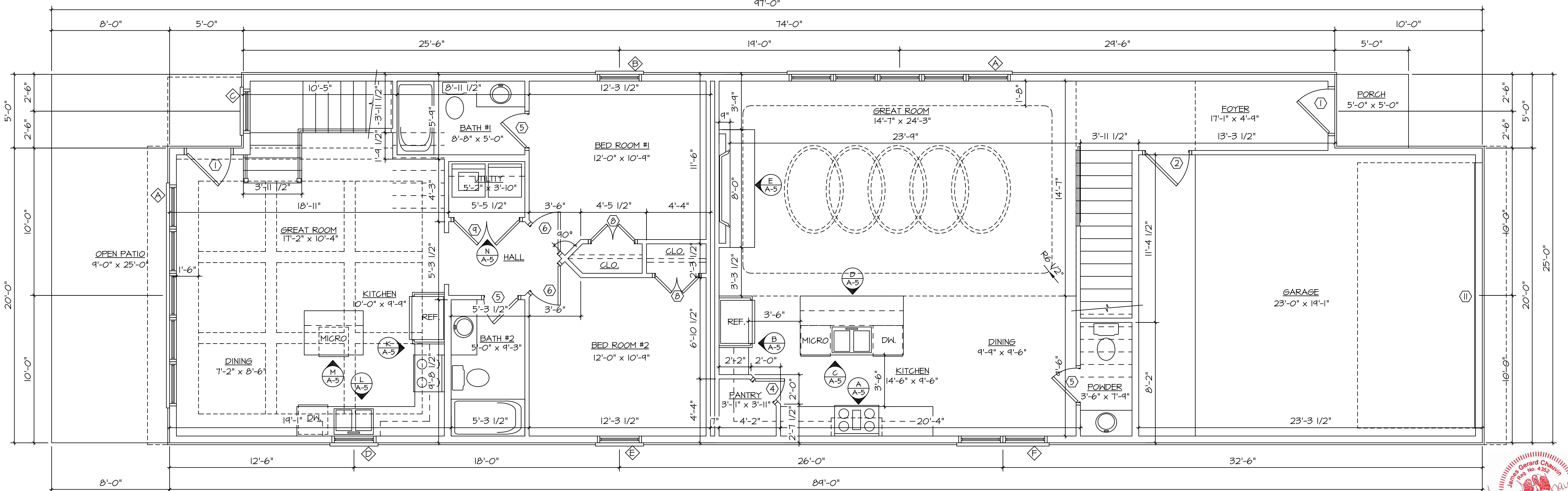
NOTES :

1. EXTERIOR WALL STUDS TO BE 2 x 4'S AT 16" O.C., UNLESS OTHERWISE NOTED.
2. INTERIOR WALL STUDS TO BE 2 x 4'S AT 16" O.C., UNLESS OTHERWISE NOTED.
3. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY 1/2" GNB APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THEN 5/8" FIRE RATED GNB. WHERE THE SEPARATION IS A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THEN 1/2" GNB. IRC SECTION R302.6.
4. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS NOT LESS THEN 1 3/8" THICK OR HONEYCOMB CORE STEEL DOOR NOT LESS THEN 1 3/8" THICK, OR A 20 MINUTE RATED DOOR EQUIPPED WITH A SELF CLOSING DEVICE. IRC SECTION R302.5.
5. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
6. ALL SLEEPING AREAS SHALL BE PROVIDED WITH AN APPROVED SMOKE ALARMS WIRED INTO THE BUILDING ELECTRICAL POWER SOURCE AND PROVIDED WITH A BATTERY BACKUP. IRC SECTION R314.
7. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. IRC R315.
8. CHEMICAL TERMITICIDE TREATMENT TO PROVIDE PROTECTION AGAINST SUBTERRANEAN TERMITES SHALL INCLUDE SOIL TREATMENT AND/OR FIELD APPLIED WOOD TREATMENT IN COMPLIANCE WITH IRC 2021 SECTION 318.



SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"



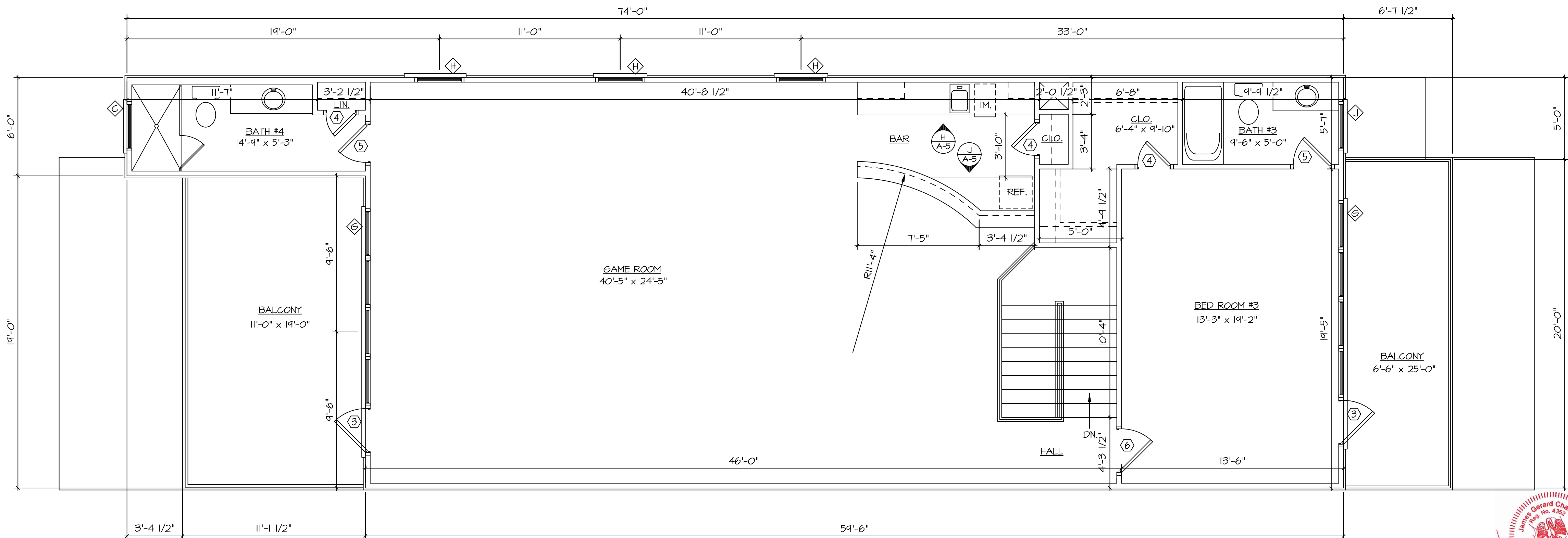
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Door Schedule		
⬡	size	description
1	3'0" x 8'0" x 1 3/4"	FULL GLASS WOOD ENTRY DOOR
2	3'0" x 8'0" x 1 3/4"	3 PANEL RATED DOOR
3	3'0" x 8'0" x 1 3/4"	FULL GLASS METAL DOOR
4	2'0" x 8'0" x 1 3/8"	3 PANEL MASONITE DOOR
5	2'4" x 8'0" x 1 3/8"	3 PANEL MASONITE DOOR
6	2'8" x 8'0" x 1 3/8"	3 PANEL MASONITE DOOR
7	3'0" x 8'0" x 1 3/8"	3 PANEL MASONITE DOOR
8	3'0" x 8'0" x 1 3/8"	PAIR-3 PANEL MASONITE DOORS
9	4'6" x 8'0" x 1 3/8"	PAIR-3 PANEL MASONITE DOORS
10	5'0" x 8'0" x 1 3/8"	PAIR-3 PANEL MASONITE DOORS
11	18'0" x 8'0" x 1 3/8"	GARAGE DOOR WITH OPENER

Window Schedule				
⬢	dimensions			description
	sash opening	rough opening head	width height	
A	3'0" x 7'0"	8'0"	QUINTPL	FIXED GLASS
B	3'0" x 5'0"	8'0"		1/1 SINGLE HUNG
C	2'6" x 7'0"	8'0"		FIXED GLASS
D	3'0" x 4'4"	8'0"		1/1 SINGLE HUNG
E	3'0" x 5'0"	8'0"		1/1 SINGLE HUNG
F	3'0" x 6'0"	8'0"	DBL	1/1 SINGLE HUNG
G	3'0" x 7'0"	8'0"	QUIDRUPL	FIXED GLASS
H	3'0" x 6'0"	8'0"		1/1 SINGLE HUNG
J	2'6" x 4'6"	8'0"		FIXED GLASS

WINDOW NOTES :

1. ALL WINDOWS TO BE VINYL, DIVIDED LIGHT UNLESS NOTED OTHERWISE.
2. ALL GLAZING IN WET AREAS SHALL BE TEMPERED.
3. WINDOWS INSTALLED IN BATHTUB ENCLOSURES LESS THAN 60" FROM THE FLOOR REQUIRE SAFETY GLAZING IN ACCORDANCE WITH SECTION R308.4.5 OF THE IRC 2015 ED.
4. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR AND OUTDOOR SKIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION, SEC. R308.4.5 IRC 2015 ED.

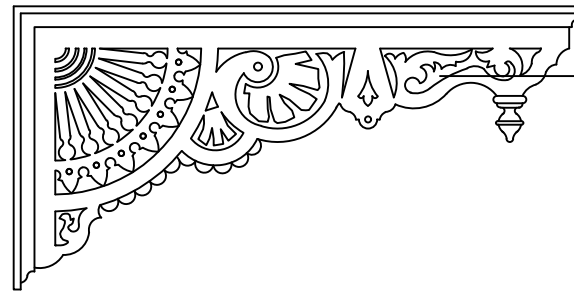


THIRD FLOOR PLAN

SCALE : 1/4" = 1'-0"

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1428 Carondelet St.-Residence

Orleans Parish, LA

A-5

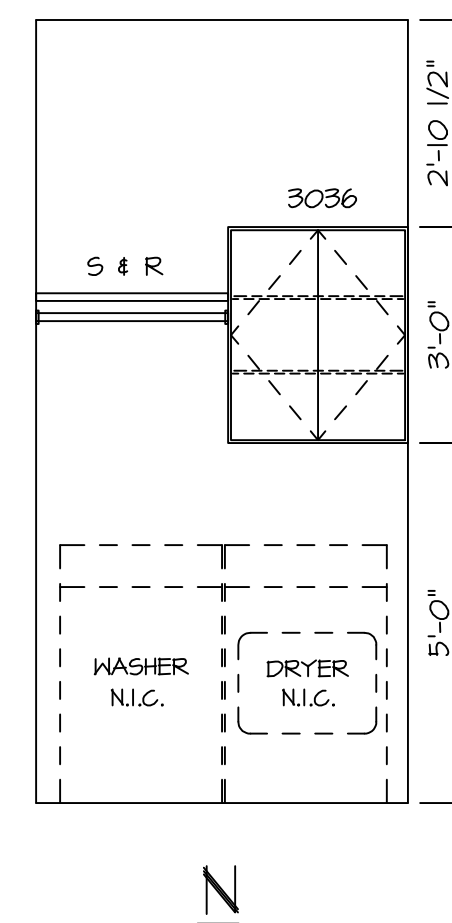
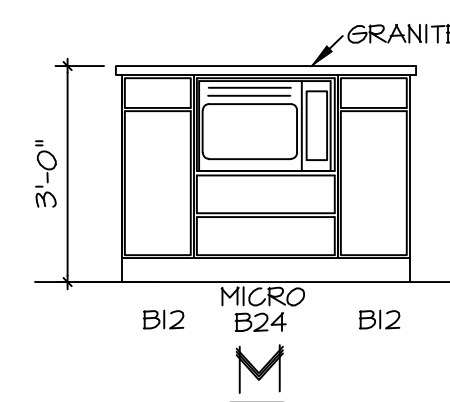
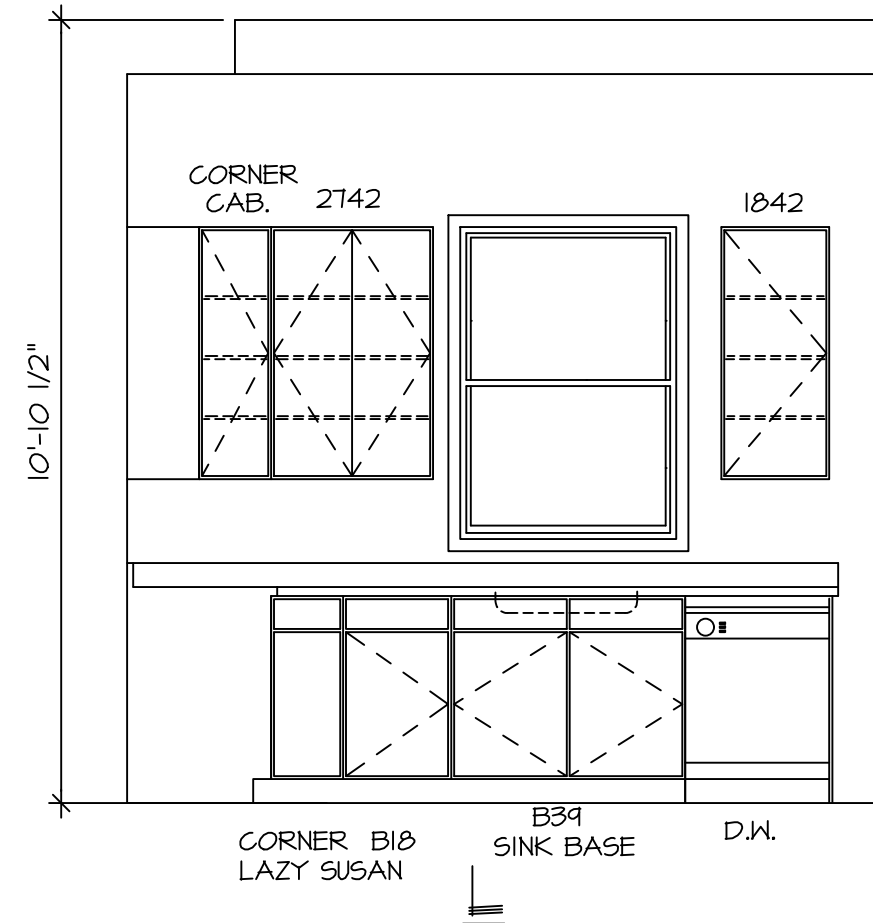
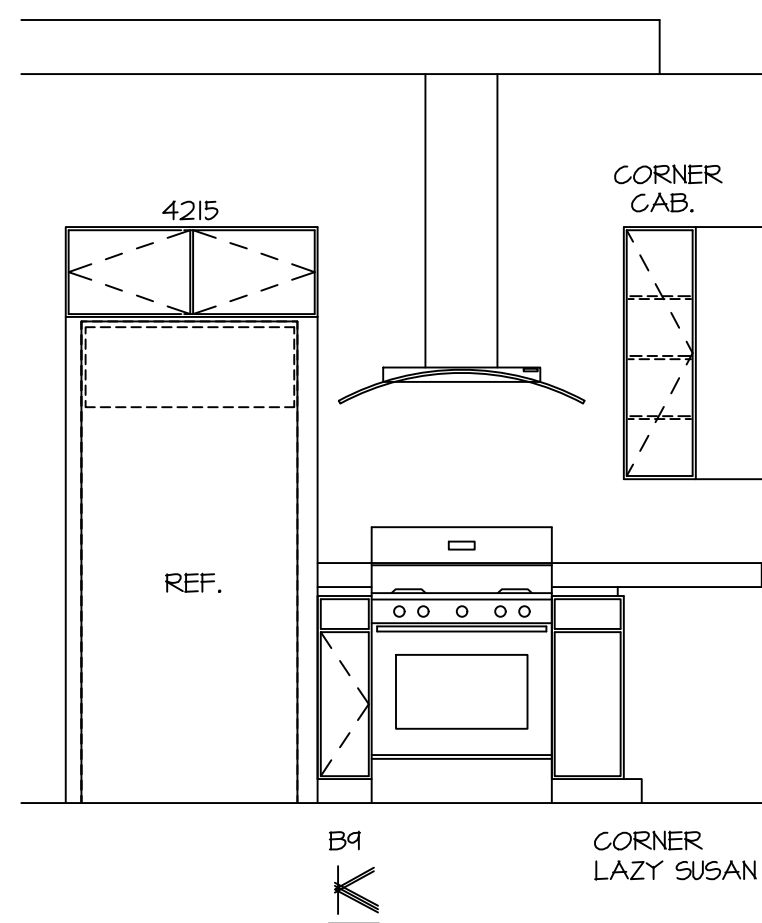
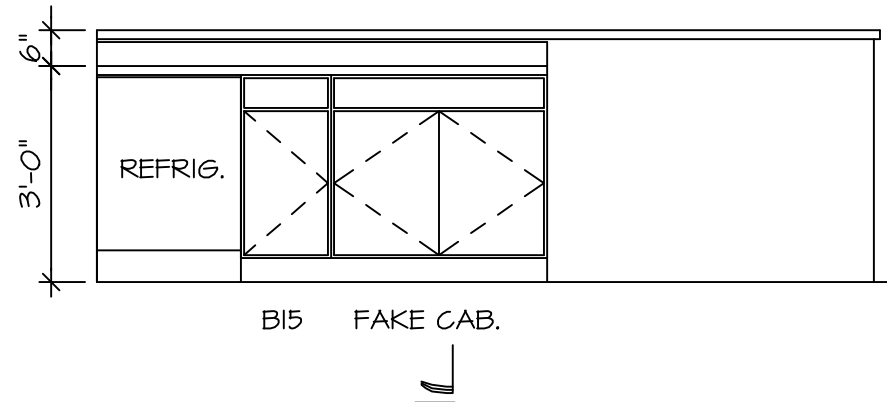
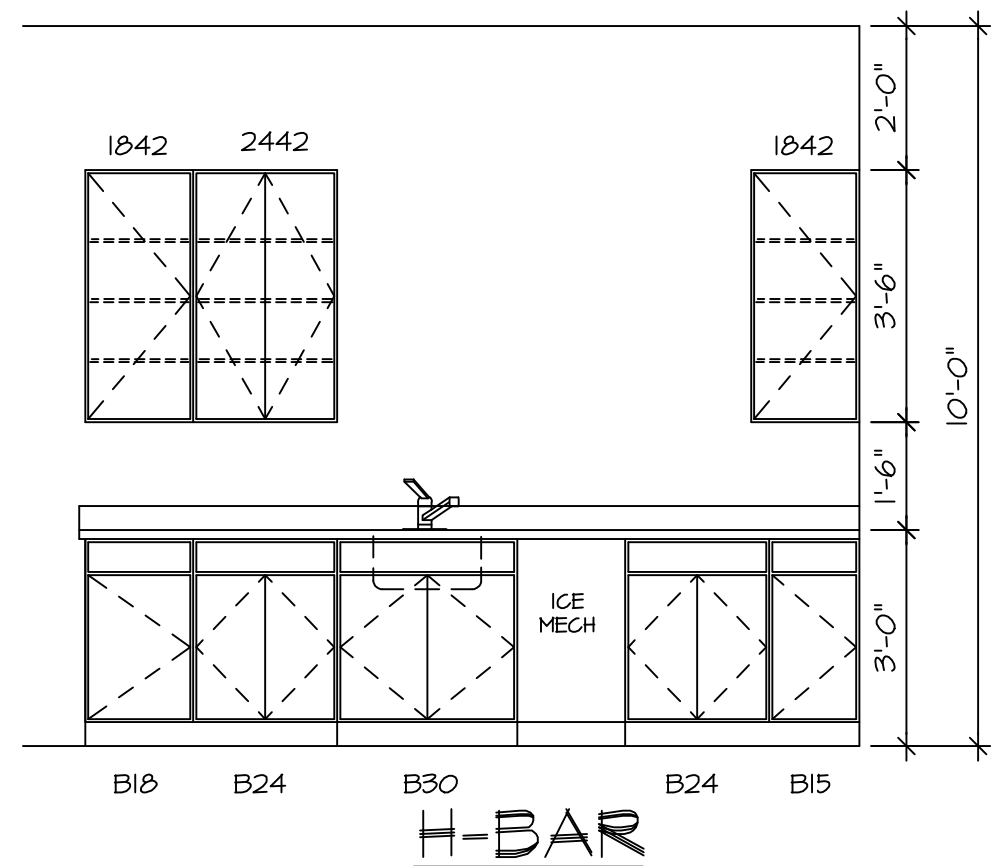
8

CABINET DET.

SCALE : 3/8" = 1'-0"

KITCHEN ELEVATIONS

SCALE : 3/8" = 1'-0"



F-UTILITY

Finish Schedule						
room	floor	base	walls	ceiling	cell. ht.	window trim
Apt. #1						
FOYER	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	22'-8"	SEE DET. 2/A-5
KITCHEN	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	SEE DET. 2/A-5
DINING RM	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	SEE DET. 2/A-5
GREAT RM	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	6/A-5 SEE DET. 3/A-5
POWDER	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	
UTILITY RM #1	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	5/A-5
STAIR	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	VARIES	SEE DET. 4/A-5
BEDROOM #2	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	SEE DET. 1/A-5
BATH #2	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	
HALL	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	SEE DET. 1/A-5
M. BEDROOM	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	6/A-5 SEE DET. 2/A-5
MST. BATH	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	5/A-5 SEE DET. 1/A-5
M. CLOSETS	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	
GAMEROOM	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-0"	6/A-5 SEE DET. 1/A-5
BEDROOM #3	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-0"	5/A-5 SEE DET. 1/A-5
BATH #3	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-0"	
BATH #4	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-0"	
CLOSETS	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-0"	
GARAGE	CONC.			GYP.BD.	10'-10 1/2"	
BALCONIES	COMP.WD.			VINYL BD.	10'-0"	
Apt. #2						
KITCHEN	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	SEE DET. 2/A-5
DINING RM	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	SEE DET. 2/A-5
GREAT RM	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	6/A-5 SEE DET. 2/A-5
UTILITY RM	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	5/A-5
BEDROOM #1	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	5/A-5 SEE DET. 1/A-5
BATH #1	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	
BEDROOM #2	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	5/A-5 SEE DET. 1/A-5
BATH #2	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	
STAIR	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	VARIES	SEE DET. 4/A-5
LOFT	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-0"	6/A-5 SEE DET. 1/A-5
BEDROOM #3	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	5/A-5 SEE DET. 1/A-5
BATH #3	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	
BEDROOM #4	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	5/A-5 SEE DET. 1/A-5
BATH #4	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	10'-10 1/2"	
OPEN PATIO	CONC.					
BALCONY	COMP.WD.			VINYL BD.	10'-10 1/2"	

FINISH NOTES :

1. DRYWALL - WALLS AND CEILINGS TO BE TAPED AND FLOATED WITH A "LIGHT ORANGE PEEL" FINISH. WATERPROOF GYP. BD. TO BE USED AT DAMP LOCATIONS AND IN SHOWER AND TUB ENCLOSURES TO CEILING.
2. PAINT - WALL AND CEILING PAINT TO BE TO BE FLAT LATEX. TRIM PAINT TO BE SEMI-GLOSS LATEX ENAMEL.

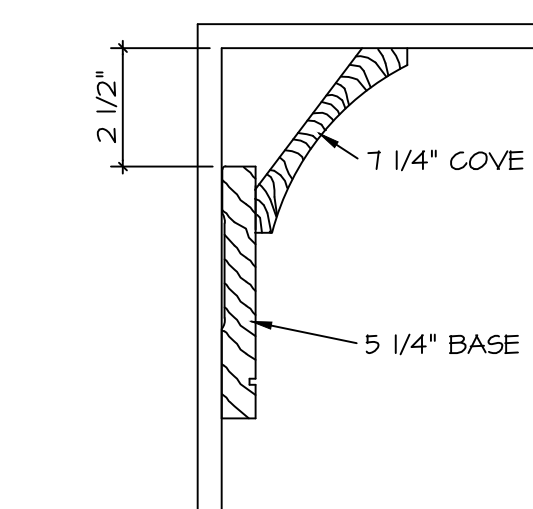
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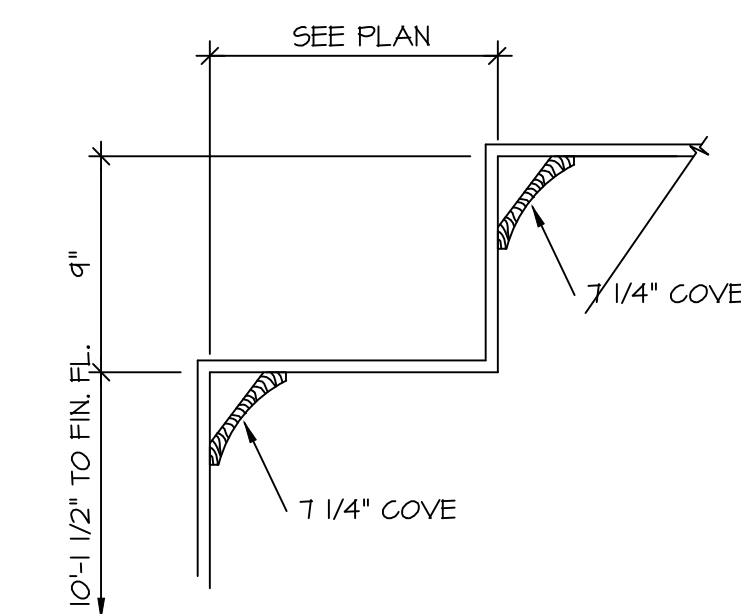
1 CROWN DETAIL

SCALE : 3" = 1'-0"



2 CROWN DETAIL

SCALE : 3" = 1'-0"



3 CEILING DETAIL

SCALE : 1 1/2" = 1'-0"



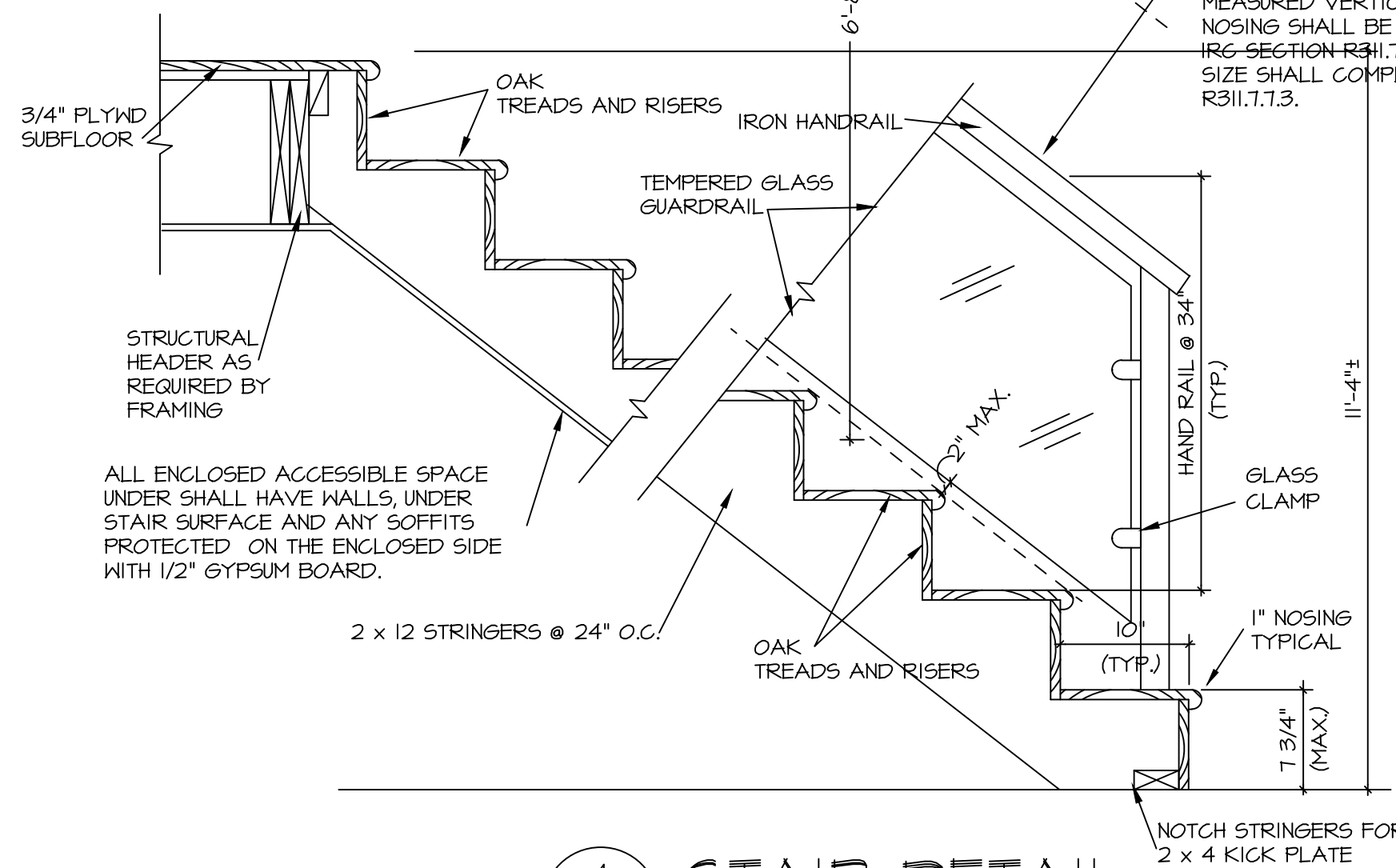
HANDRAIL TO BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. TOP END SHALL TERMINATE AT THE GUARD RAILING.

MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL BE NOT LESS THEN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM

HANDRAIL TO BE CONTINUOUS THE FULL LENGTH OF THE STAIRS, BUT MAY BE INTERRUPTED BY A NEWEL POST AT A TURN. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWEL ALLOWED OVER THE LOWEST TREAD.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STEPS OF 4 OR MORE RISERS. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE NOSING SHALL BE BETWEEN 34" AND 38". IRC SECTION R311.7.1.1. HANDRAIL GRIP SIZE SHALL COMPLY WITH SECTION R311.7.1.3.

GUARDRAILS NOT LESS THEN 36" HIGH SHALL BE PROVIDED AT ALL PORCHES, BALCONIES OR RAISED FLOORS MORE THEN 30" IN HEIGHT. GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER.



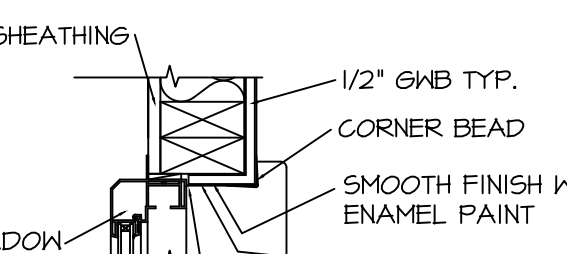
4 STAIR DETAIL

SCALE : 3" = 1'-0"

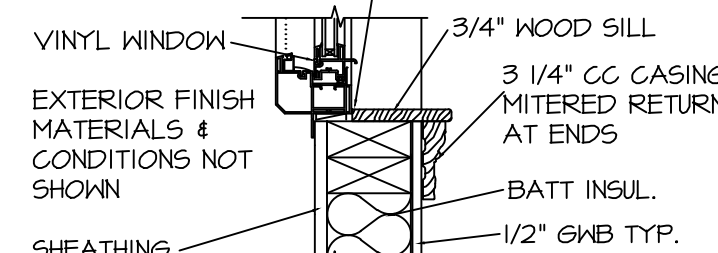
4" CASING TYPICAL ALL DOORS, CASED OPENINGS UNLESS OTHERWISE NOTED

TYPICAL CASING

SCALE : FULL SCALE



JAMB - HEAD SIMILAR

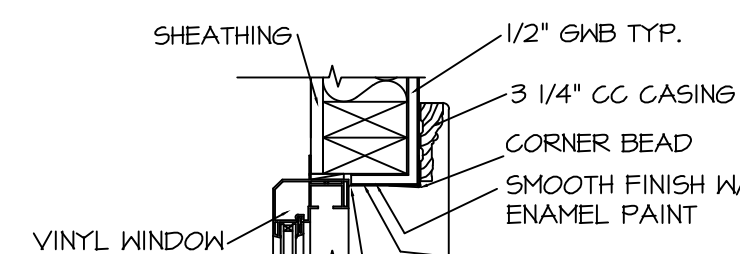


SILL TRIM DET.

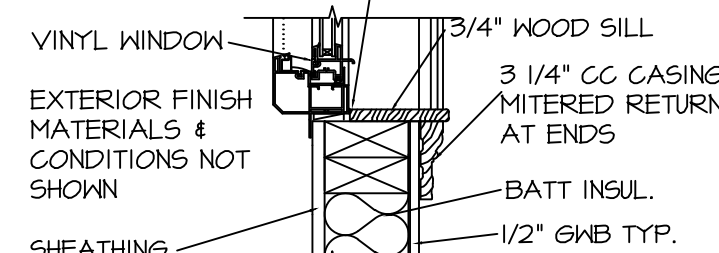
SCALE : 1 1/2" = 1'-0"

TYPICAL BASE

SCALE : FULL SCALE

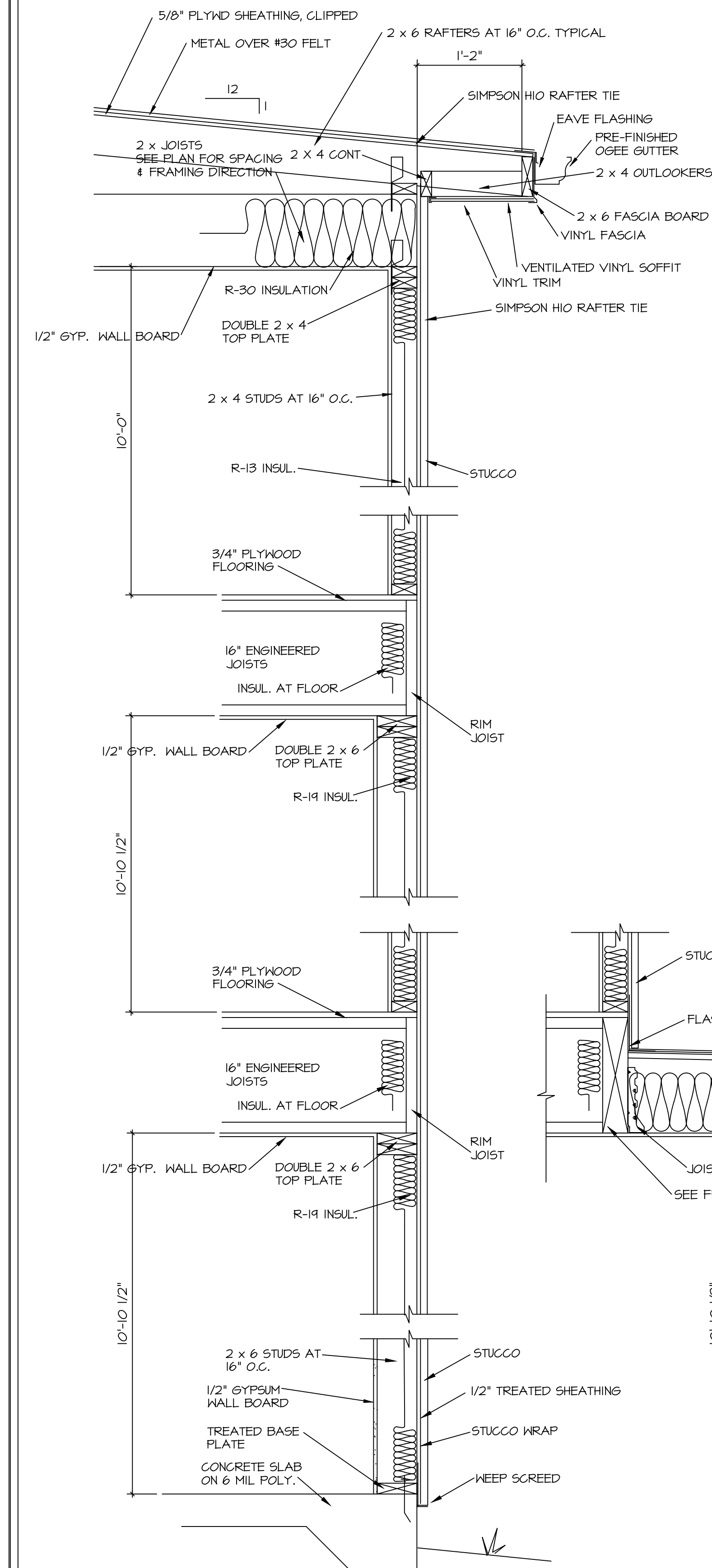
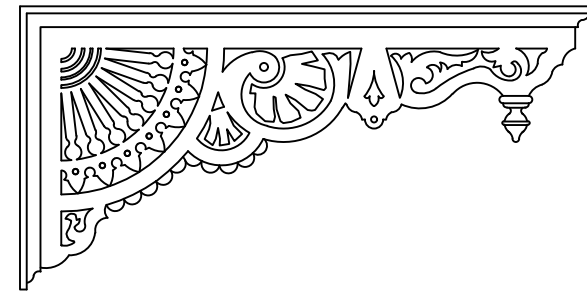


JAMB - HEAD SIMILAR

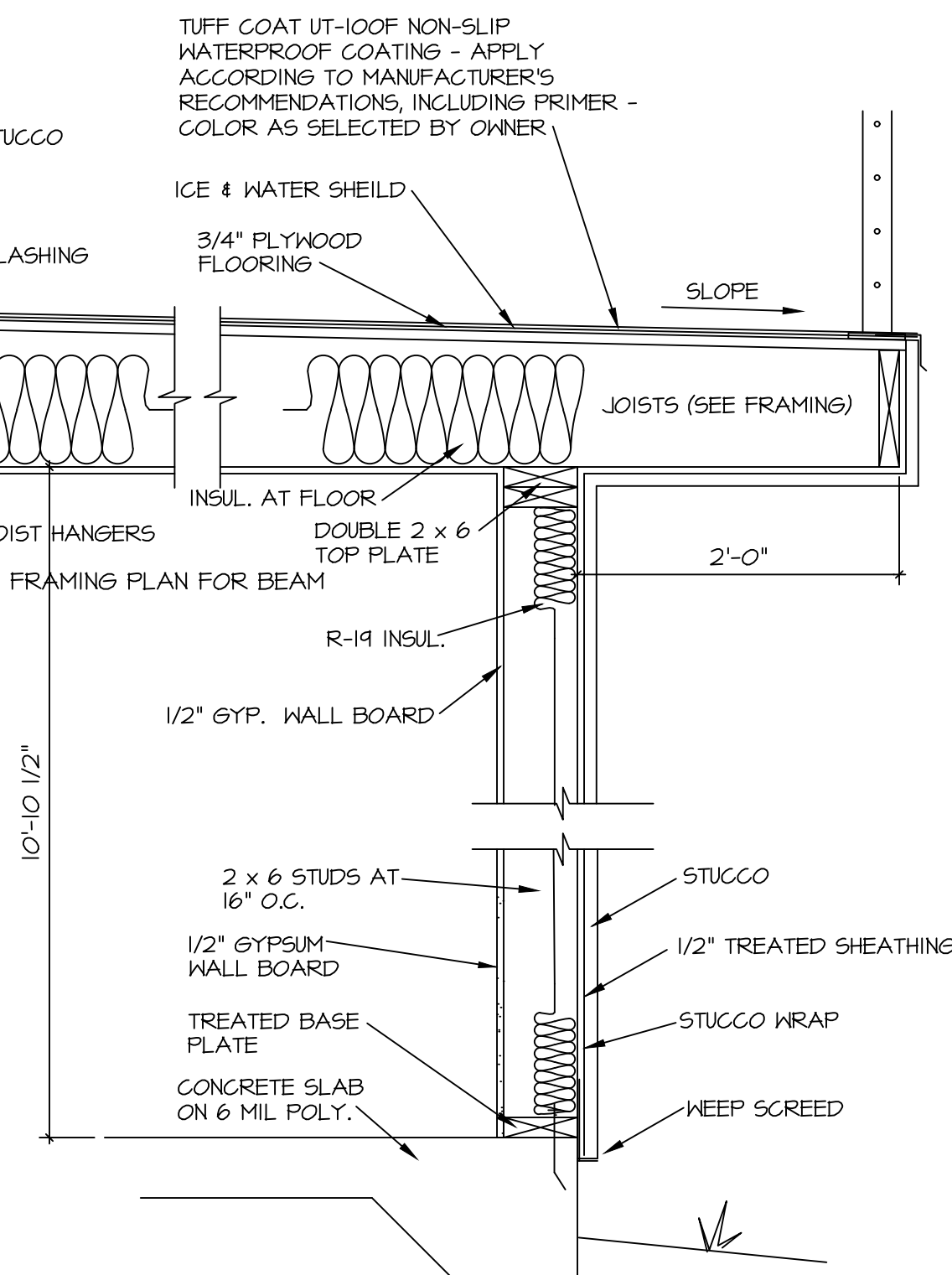


SILL TRIM DET.

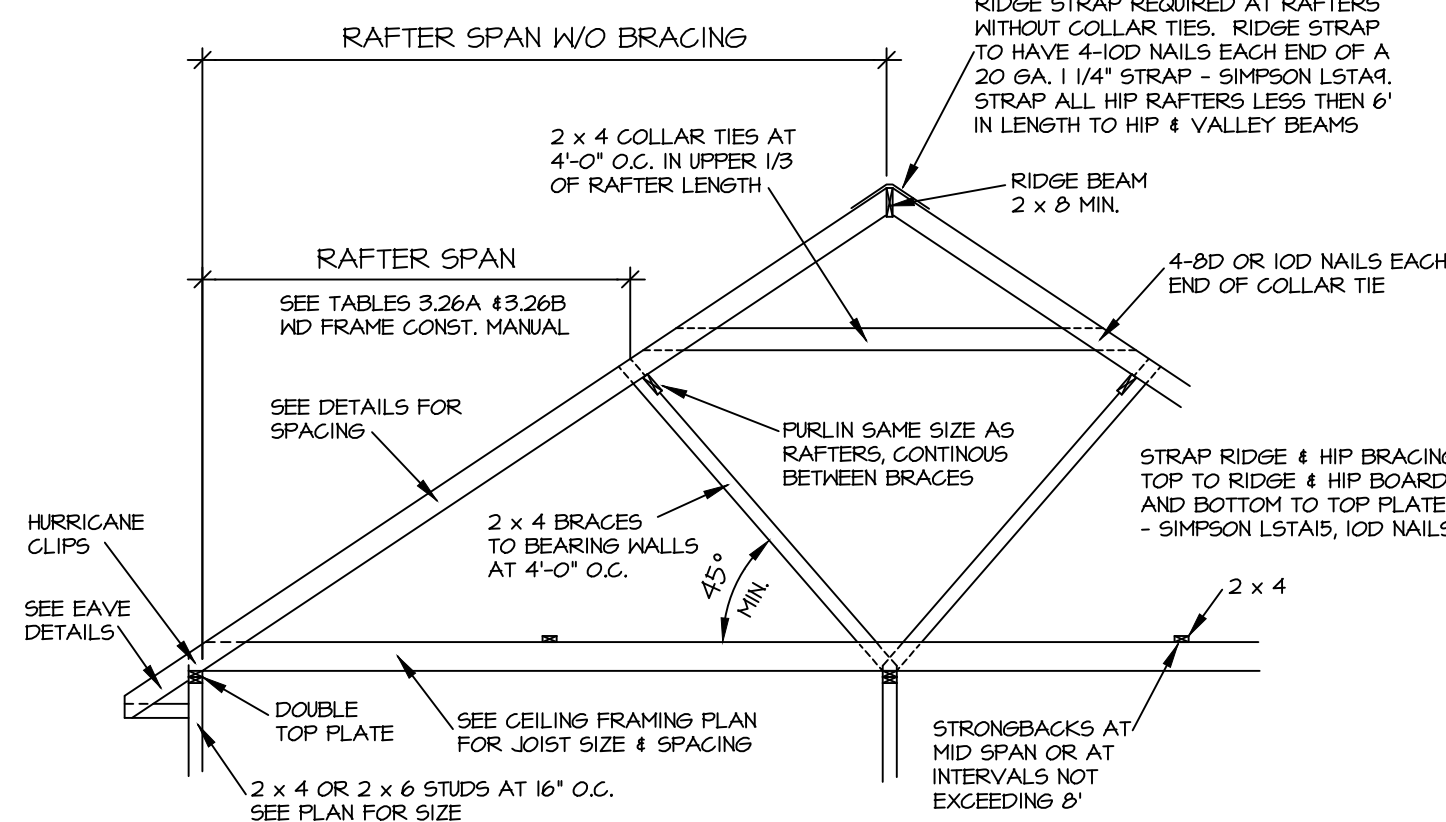
SCALE : 1 1/2" = 1'-0"



1
A-5
WALL SECTION
SCALE : 1" = 1'-0"



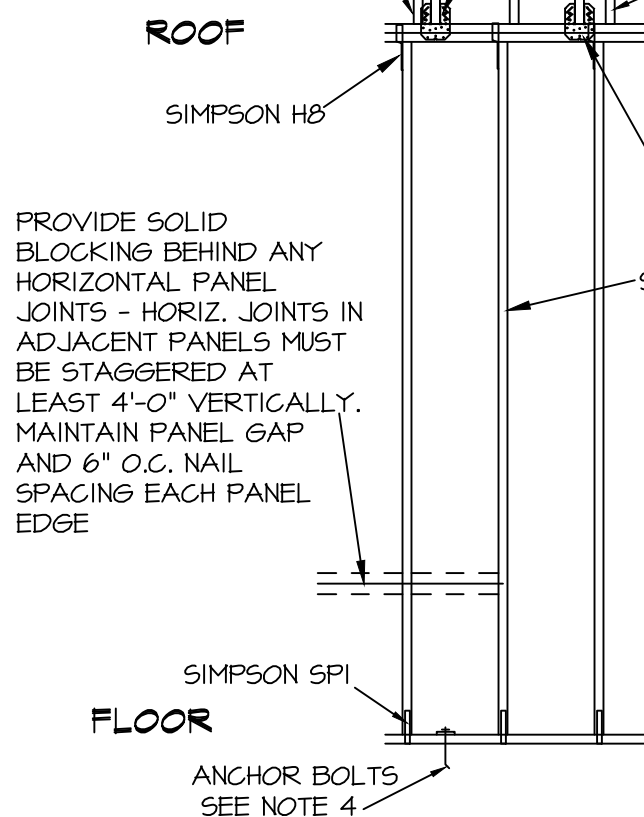
2
A-5
WALL SECTION
SCALE : 1" = 1'-0"



TYPICAL ROOF FRAMING

SCALE : N.T.S. © 2006, David Ranglack, Architect, LLC

CEILING JOIST TO TOP PLATE WITH 4 - 8d COMMON OR 4 - 10d BOX NAILS TOE-NAILED 2 EACH SIDE OF EACH END OF EVERY CEILING JOIST



CONNECTORS

CONNECTOR NUMBERS ARE BY SIMPSON STRONG-TIE. CONNECTORS BY OTHER MANUFACTURERS MAY BE SUBSTITUTED FOR THOSE ABOVE ONLY IF PROVEN TO BE OF EQUAL OR GREATER CAPACITY AND OF SAME CORROSION RESISTANCE.

STUCCO :

1. STUCCO SHALL BE CONVENTIONAL PORTLAND CEMENT, INSTALLED OVER METAL LATH AND WATERPROOF MEMBRANE, FOR FIRST TWO COATS (SCRATCH AND BROWN COATS). THIRD AND FINAL COAT SHALL BE OF ELASTOMERIC MATERIAL, WITH SELECTED COLOR INTEGRATED INTO MATERIAL PRIOR TO APPLICATION. EXPANSION AND CONTROL JOINTS TO BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND STANDARD INDUSTRY PRACTICE.

COLUMN UPLIFT CONNECTOR : TIE MAX COLUMN TIE DOWN ALL COLUMNS. INSTALL USING THE TIE MAX RECOMMENDATIONS. SET TIE MAX 5/8" TM HDG EDGE BOLT EMBED BEFORE POURING CONCRETE. FASTEN TO THE TM 1/2" ZINC ROD USING TM 5/8" HDG 10 1/2" ZINC COUPLER. RUN ROD THRU 1/2" SPACE BETWEEN TOP OF BEAMS AND FASTEN TO TOP OF BEAM OR GABLE WALL TOP PLATE WITH 3/8X1/4" HDG TM WASHER AND TM NUT. ALTERNATE CONNECTOR : SIMPSON S5TRI/2 HOLLOW COLUMN UPLIFT CONNECTOR, INSTALL ACCORDING TO SIMPSON RECOMMENDATIONS.

HOUSE WRAP / STUCCO WRAP AN ICC APPROVED HOUSE WRAP AND/OR STUCCO WRAP WATER RESISTANT BARRIER TO BE INSTALLED BEHIND THE EXTERIOR VENEER. STUCCO WRAP TO BE INSTALLED WITH THE DRAINAGE GROOVES VERTICAL. WRAP TO BE INSTALLED PLUMB. FASTEN TO SHEATHING WITH LARGE HEAD NAILS OR NAILS WITH LARGE PLASTIC WASHER HEADS. FASTENERS TO BE SPACED 6" TO 18" APART ON VERTICAL AND HORIZONTAL STUD LINES. VERTICAL OVERLAP TO BE 6" TO 8". SEAL WRAP TO BOTTOM OF SILL PLATE WITH CAULK OR FLASHING TAPE. LAP 6" AND TAPE OR CAULK OVER METAL DRIP EDGE AT STUCCO. UPPER LAYER OF WRAP SHOULD OVERLAP BOTTOM LAYER BY A MINIMUM OF 6". ALL HORIZONTAL AND VERTICAL SEAMS, RIPS, TARES AND PENETRATIONS TO BE SEALED WITH APPROVED TAPE. UNROLL OVER WINDOW AND DOOR OPENINGS. PREPARE AND FLASH OPENINGS ACCORDING TO WRAP MANUFACTURER'S GUIDELINES.

ROOFING NOTES :

SEAL ALL ROOF SHEATHING JOINTS WITH 4" WIDE (MIN) SELF-ADHERING MODIFIED BITUMEN TAPE. SEAL AROUND ALL DECK PENETRATIONS WITH ROOF TAPE.

METAL DRIP EDGE REQUIRED AT EAVES AND RAKES.

UNDERLAYMENT, 30# ROOFING FELT OR CODE APPROVED UNDERLAYMENT, TO BE INSTALLED WITH A MINIMUM OF 6" OVERLAP ALL AROUND. NAIL WITH CORROSION RESISTANT NAILS AT 6" O.C. ALONG THE EDGES (R905.3.3.2, IRC 2021 REQUIRES FASTENERS NOT FURTHER APART THEN 36") AND NAILS AT 12" O.C. IN THE FIELD. STAPLES ARE NOT ACCEPTABLE.

STARTER STRIP, WITH SELF-SEALING ADHESIVE, TO BE INSTALLED AT ALL EAVES AND AT RAKES, SAME NAIL SPACING AS SHINGLES OR 6" O.C. MAX.

SHINGLES TO BE TESTED AND APPROVED UNDER THE ASTM D3661 STANDARD, MODIFIED TO 110 MPH. SHINGLES TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR HIGH WIND. SHINGLES TO BE NAILED WITH CORROSION RESISTANT NAILS. STAPLES ARE NOT ACCEPTABLE. NAILS TO BE DRIVEN PERPENDICULAR TO THE ROOF SURFACE AND THE NAIL HEAD TO BE FLUSH.

TREATED WOOD : TREATED WOOD IS REQUIRED IN THE FOLLOWING LOCATIONS:

1. ALL LUMBER BELOW THE BASE FLOOD ELEVATION.
2. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18" OR WOOD GIRDERS WHEN CLOSER THAN 12" TO THE EXPOSED GROUND IN GRAVEL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE EXPOSED GROUND.
3. ALL WOOD MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM THE EXPOSED GROUND.
4. SILLS AND SLEEPERS ON CONCRETE OR MASONRY THAT IS IN DIRECT CONTACT WITH THE GROUND.

WOOD STRUCTURAL OR FRAMING MEMBERS SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH ANPA VI FOR PROTECTION FROM DECAY.

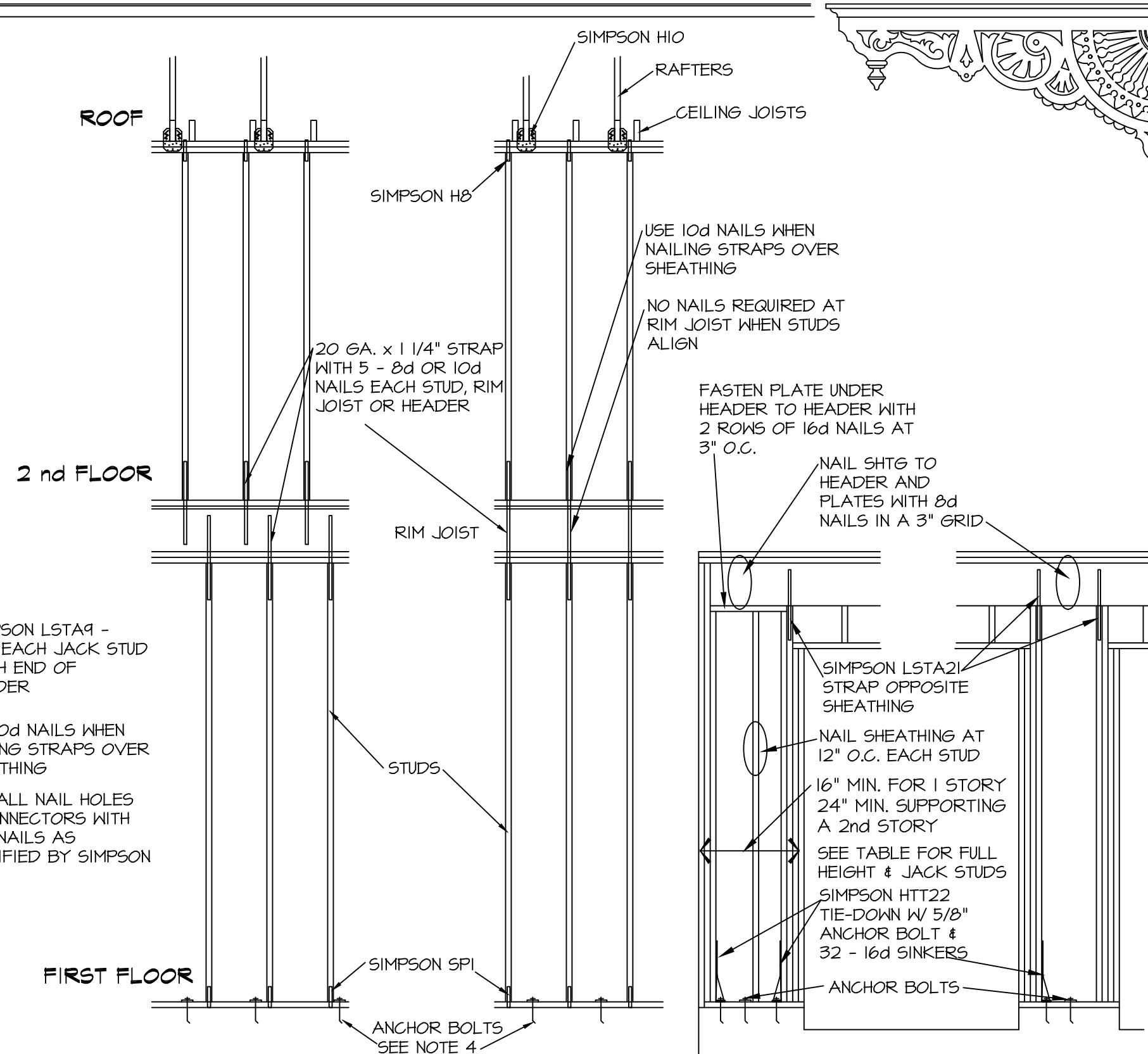
FLASHING NOTES:

1. SHEET METAL : ALL SHEET METAL WORK SHALL COMPLY THE DESIGN AND INSTALLATION DETAILS AS PUBLISHED BY SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.). WORK TO INCLUDE, BUT, NOT LIMITED TO GUTTERS, DOWN SPOUTS, EAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL COPINGS, PARAPET WALL COVERINGS, ROOF PENETRATIONS, CHIMNEY, LEDGE AND WALL FLASHINGS.

2. FLASHINGS : APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALL TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTIVE FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS. 1. AT TOP AND PERIMETER OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAKPROOF. 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS. 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM. 5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. 6. AT WALL AND ROOF INTERSECTIONS. 7. AT BUILT-IN GUTTERS.



2-28-2023



CONNECTORS

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FRAMING NOTES :

1. ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE WIND AND FLOOD MITIGATION REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE AS WELL AS THOSE REQUIRED BY FEMA. UPLIFT RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE ROOF.

2. LUMBER USED FOR JOISTS, RAFTERS & BEAMS SHALL BE #2 KD SOUTHERN YELLOW PINE. STUDS SHALL BE STUD GRADE OR STANDARD KD SOUTHERN YELLOW PINE. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. ALL CONNECTORS, ANCHORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD TO BE OF GREATER CORROSION RESISTANCE THEN STANDARD GALVANIZED CONNECTORS AND FASTENERS. CORROSION RESISTANCE TO BE APPROPRIATE FOR THE TYPE OF PRESSURE TREATMENT OF THE LUMBER USED.

3. ANCHOR BOLTS TO SLAB SHALL BE A MINIMUM OF 5/8" DIAMETER, MINIMUM OF 7" EMBEDMENT, WITH 3" x 3" x 1/8" WASHERS. A MINIMUM OF ONE ANCHOR SHALL BE WITHIN 6" TO 12" OF EACH END OF EACH PLATE AND WITHIN 12" OF ALL CORNERS. MAXIMUM ANCHOR BOLT SPACING ON EXTERIOR WALLS SHALL BE 30". A TIE MAX ANCHOR MAY REPLACE ONE ANCHOR BOLT. MAXIMUM ANCHOR SPACING ON INTERIOR BEARING WALLS SHALL BE 3'-0". AT TWO STORY INTERIOR SHEAR WALLS MAXIMUM ANCHOR SPACING SHALL BE 30" AS INDICATED ON FRAMING PLAN.

4. PROVIDE LATERAL SUPPORT FOR FLOOR JOISTS AT ENDS AND BRIDGING OR BLOCKING AT INTERVALS IN THEIR SPAN NOT TO EXCEED 8 FEET. PROVIDE DOUBLE JOISTS AT ALL PARALLEL WALLS AND SOLID BLOCKING OVER BEARING WALLS.

5. SUBFLOOR - PLYWD OR OSB, APA RATED 48/24, 23/32" THICK (3/4" NOM), TONGUE & GROOVE AND IS TO BE GLUED AND NAILED. NAILS TO BE EITHER 8d COMMON OR 10d BOX NAILS. SUBFLOORING TO BE NAILED AT 6" O.C. AT EDGES AND AT 12" O.C. IN THE CENTER OF THE SUBFLOOR PANELS AT EACH JOIST.

6. ROOF SHEATHING - PLYWD OR OSB, APA RATED, 15/32" THICK (5/8" NOM). PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS. NAILS TO BE EITHER 8d COMMON OR 10d BOX NAILS. MAXIMUM SPACING FOR SHEATHING NAILING WITHIN 4' OF EXTERIOR WALLS, RIDGES OR HIPS TO BE 6' O.C. AT SHEATHING EDGES AND AT EACH RAFTER. ALL OTHER SHEATHING TO BE NAILED AT 6" O.C. AT EDGES AND AT 12" O.C. IN THE CENTER OF THE SHEATHING PANELS. SHEATHING AT GABLE RAKES SHALL BE NAILED AT 4" O.C. AT OUTLOOK BLOCK AND AT SOLID BLOCKING OVER GABLE STUD TOP PLATE.

7. WALL SHEATHING - PLYWD OR OSB, APA RATED, 15/32" THICK (1/2" NOM). ON ALL EXTERIOR WALLS FROM SILL PLATE TO UNDERLINE OF RAFTERS. PROVIDE SOLID BLOCKING AT ALL HORIZONTAL PANEL EDGES OF SHEATHING. ALL VERTICAL EDGES TO BE ON STUDS. NAILS TO BE EITHER 8d COMMON OR 10d BOX NAILS. SHEATHING TO BE NAILED AT 6" O.C. AT ALL EDGES AND AT 12" O.C. IN THE CENTER OF THE SHEATHING PANELS AT EACH STUD. HOLDDOWNS AND ALL RELATED ACCESSORIES (NUTS, WASHERS, ETC) SHALL BE AT LOCATIONS AS SHOWN ON FRAMING PLAN AND IN DETAILS.

8. JOIST HANGERS SHALL BE 16 GA., TYPE "U" AS MANUFACTURED BY SIMPSON STRONG TIES CO. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURE'S SPECIFICATIONS. USE JOIST HANGERS FOR JOISTS AND BEAMS WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE SAME SIZE AS THE MEMBER SUPPORTED.

9. PROVIDE STUD POSTS MADE UP OF MULTIPLE STUDS BENEATH END BEARING OF BEAMS. NAIL EACH STUD TO THE ADJACENT STUD IN THE POST WITH 16d NAILS AT 12" O.C. ON STUD CENTERLINE AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING ON BOTH TOP AND BOTTOM.

10. COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.

11. BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGES OF JOIST, NOT LARGER THEN 1 1/4" DIA. AND NOT IN THE MIDDLE OF A SPAN.

12. STRAP ALL STUDS CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE, NO. 24 GAUGE GALVANIZED STRAPS, 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.

13. PROVIDE CURTAIN BLOCKING AT ALL WINDOWS. PROVIDE BLOCKING FOR CABINETS, TONEL BARS AND FIXTURES AS REQUIRED.

14. FIREBLOCKING IS REQUIRED BETWEEN STORIES AND AT THE TOP STORY AND ROOF SPACE. BLOCKING IS ALSO REQUIRED IN CONCEALED SPACES IF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS, VERTICALLY AT THE CEILING AND FLOOR LEVELS, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'. BLOCKING REQUIRED IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ALSO REQUIRED AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL. PENETRATIONS OF THE FIREBLOCKING SHALL BE PACKED WITH ACCEPTABLE FIREBLOCKING MATERIAL. IRC R602.2

15. DOUBLE TOP PLATES SHALL BE PROVIDED AT THE TOP OF ALL WALLS. DOUBLE TOP PLATES SHALL OVERLAP AT CORNERS AND AT INTERSECTIONS WITH OTHER EXTERIOR OR INTERIOR WALLS. DOUBLE TOP PLATES AT EXTERIOR WALLS SHALL BE LAP SPliced WITH ENDS JOINTS OFFSET A MINIMUM OF 8". NAIL PLATES TOGETHER AT THE SPLICE WITH 2 - 16d NAILS EVERY 12" FOR THE ENTIRE SPLICE.

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Orleans Parish, LA

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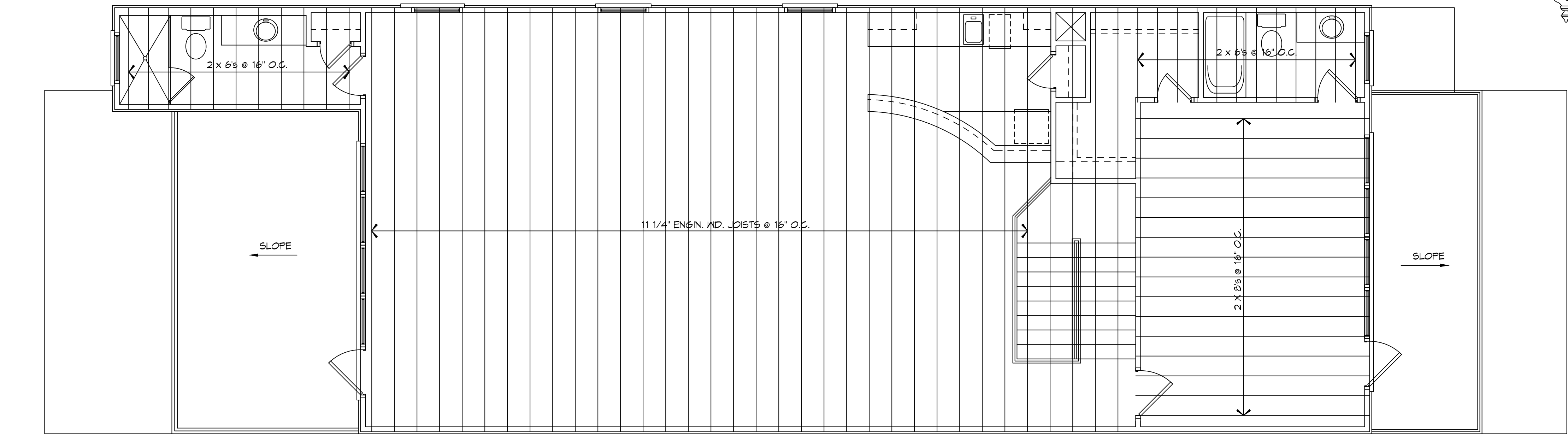
HEADER SCHEDULE			
EXTERIOR WALLS		INTERIOR WALLS	
EXTERIOR WALLS MIN. HEADER SIZE	SPAN (CLEAR OPENING)	LOAD BEARING INTERIOR WALLS MIN. HEADER SIZE	SPAN (CLEAR OPENING)
2 - 2 x 4	4'-7"	2 - 2 x 4	4'-7"
2 - 2 x 6	5'-6"	2 - 2 x 6	5'-6"
2 - 2 x 8	6'-1"	2 - 2 x 8	6'-7"
2 - 2 x 10	6'-8"	2 - 2 x 10	8'-1"
2 - 2 x 12	7'-1"	2 - 2 x 12	9'-5"
3 - 2 x 8	7'-5"	3 - 2 x 8	8'-4"
3 - 2 x 10	8'-3"	3 - 2 x 10	10'-2"
3 - 2 x 12	8'-8"	3 - 2 x 12	11'-9"
3 1/2" x 9 1/2" PARALAM	10'-2"	3 1/2" x 9 1/2" PARALAM	12'-1"
3 1/2" x 11 7/8" PARALAM	11'-9"	3 1/2" x 11 1/4" PARALAM	13'-10"
3 1/2" x 14" PARALAM	12'-6"	3 1/2" x 14" PARALAM	14'-4"
3 1/2" x 16" PARALAM	13'-9"	3 1/2" x 16" PARALAM	15'-9"
3 1/2" x 18" PARALAM	18'-0"	3 1/2" x 18" PARALAM	18'-0"
ABOVE SIZES TO BE USED UNLESS OTHERWISE NOTED ON THE FRAMING PLAN. BASED ON #2 KD SOUTHERN PINE - WOOD FRAME CONSTRUCTION MANUAL, 2001 EDITION © 2001, Old Orleans Designs, Inc.			

HEADER STUD SCHEDULE									
NO. OF STUDS FOR EACH END OF HEADERS	HEADER SPAN (CLEAR OPENING)								
	2'-0"	4'-0"	6'-0"	8'-0"	10'-0"	12'-0"	14'-0"	16'-0"	
FULL HEIGHTS STUDS	1	2	3	3	4	5	6	6	
EXT. WALL - JACK STUDS Supporting Roof & Ceiling	1	1	2	2	3	3	4	4	
EXT. WALL - JACK STUDS Supporting Roof, Ceiling & One Floor	1	2	2	3	4	4	5	5	
INTERIOR BEARING WALL FULL HEIGHT STUDS Supporting One Floor	1	1	2	2	2	3	3	3	
INTERIOR BEARING WALL JACK STUDS Supporting One Floor	1	1	2	2	3	3	4	4	
ABOVE SIZES TO BE USED UNLESS OTHERWISE NOTED ON THE FRAMING PLAN. STUD GRADE OR BETTER KD SOUTHERN PINE - WOOD FRAME CONSTRUCTION MANUAL © 2018, Old Orleans Designs, Inc.									

HIP & VALLEY BEAMS	
BEAM SIZE	MAXIMUM UNSUPPORTED SPAN
1 - 2 x 6	8'-6"
2 - 2 x 6	11'-4"
2 - 2 x 8	14'-2"
2 - 2 x 10	17'-0"
3 - 2 x 12	19'-10"
4 - 2 x 12	22'-8"
BASED ON #2 KD SOUTHERN PINE 20 PSF LIVE LOAD, 10 PSF DEAD LOAD WOOD FRAME CONSTRUCTION MANUAL © 2018, Old Orleans Designs, Inc.	

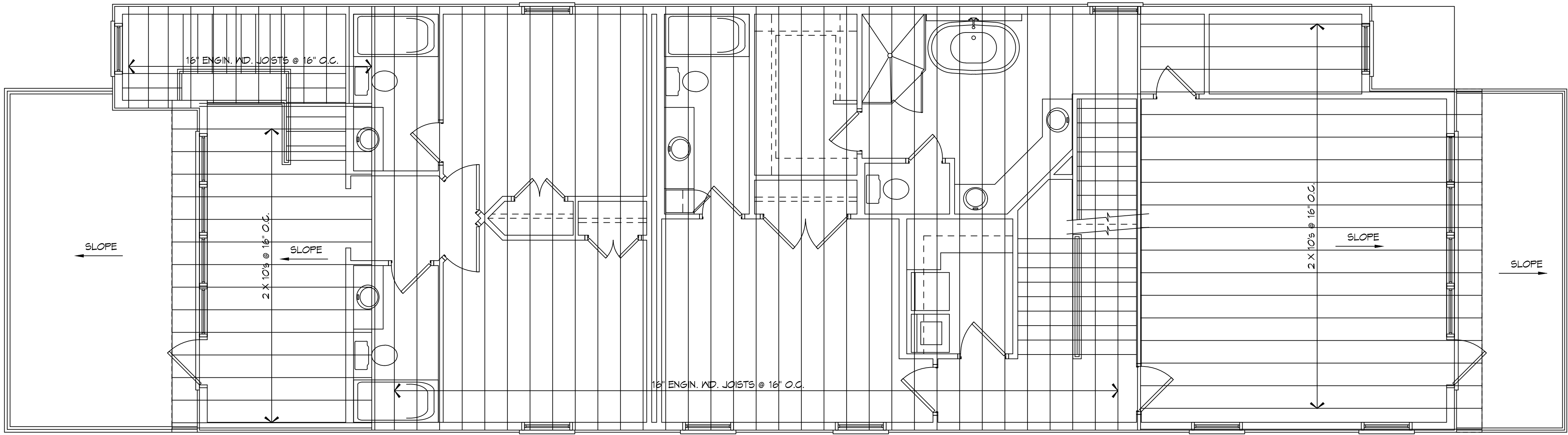
ENGINEERED WOOD JOIST NOTES:

- ENGINEERED WOOD JOISTS TO BE MANUFACTURED WITH ORIENTED STRAND BOARD WEBS, LAMINATED LUMBER FLANGES & WATERPROOF, STRUCTURAL ADHESIVES.
- TRUSS JOISTS TO BE INSTALLED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. THIS INCLUDES ALL BRACING, BLOCKING, SHEATHING, HANGERS, RIM JOISTS, RIM BOARDS AND STRUT LINES.
- USE FRAMING ANCHORS AND HANGERS WHERE REQUIRED. NAIL ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- JOISTS MUST BE Laterally SUPPORTED AT CANTILEVERS AND END BEARINGS BY BLOCKING PANELS, HANGERS OR DIRECT ATTACHMENT TO A RIM BOARD OR RIM JOIST.
- HOLES IN WEBS ARE ALLOWED ACCORDING TO HOLE SIZE CHARTS AND END DISTANCES ALLOWED BY MANUFACTURER. DO NOT CUT OR NOTCH FLANGES.
- SLOPE CUT JOISTS ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- LAYOUT DRAWINGS ARE TO BE FURNISHED BY SUPPLIER. JOIST LAYOUT DRAWINGS TO BE STAMPED BY AN ENGINEER REGISTERED IN LOUISIANA.



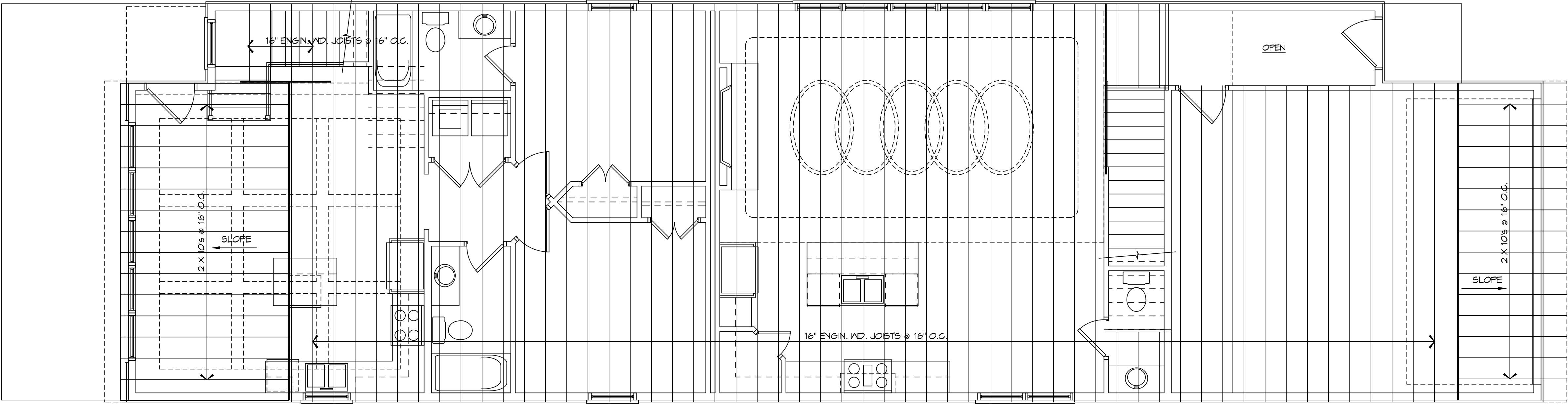
THIRD FLOOR CEILING FRAMING

SCALE : 1/4" = 1'-0"



2 ND FL. CLG. / 3 RD FL. FRAMING

SCALE : 1/4" = 1'-0"



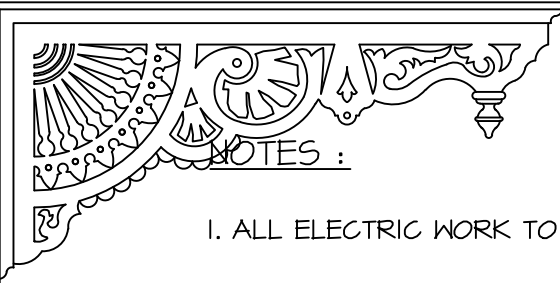
1 st FL. CLG. / 2 nd FL. FRAMING

SCALE : 1/4" = 1'-0"

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NOTES :

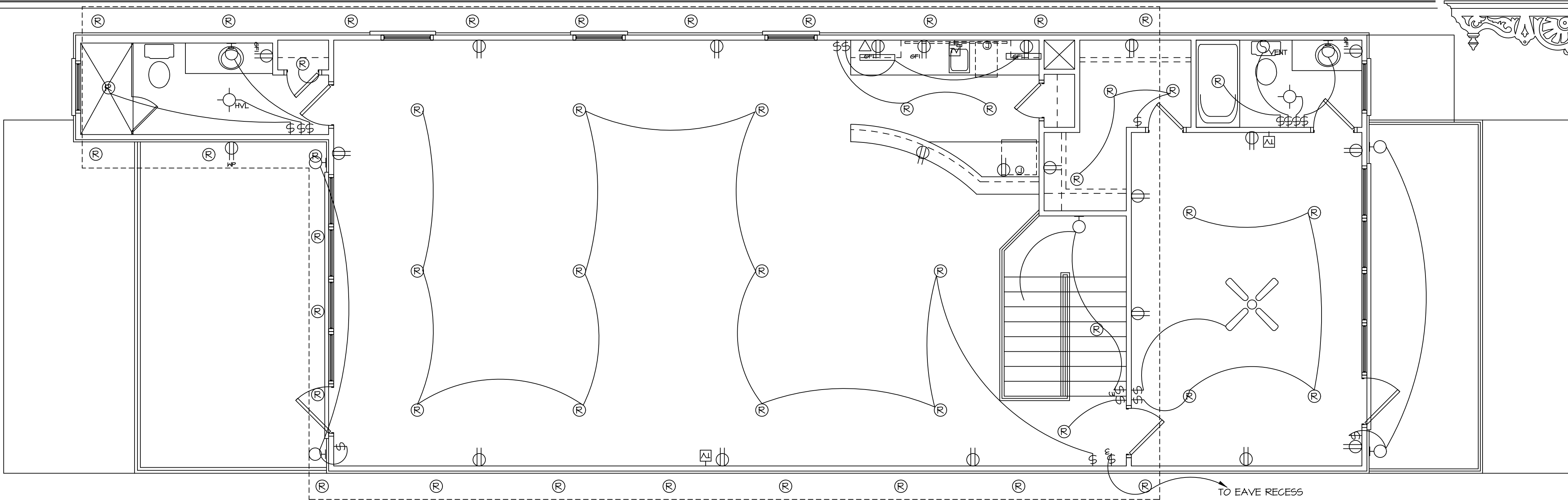
1. ALL ELECTRIC WORK TO BE DONE UNDER NEC 2014.
2. PROVIDE ELECTRICAL AND/OR GAS, AS REQUIRED, FOR HOT WATER HEATERS, POWER VENTS & HVAC IN ATTIC.
3. PROVIDE ELECTRICAL FOR HVAC CONDENSERS, VERIFY LOCATION.
4. ALL SLEEPING AREAS SHALL BE PROVIDED WITH AN APPROVED SMOKE ALARMS WIRED INTO THE BUILDING ELECTRICAL POWER SOURCE AND PROVIDED WITH A BATTERY BACKUP. IRC SECTION R314.
5. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
6. RECESSED FIXTURES - USE IC HOUSINGS IN INSULATED CEILINGS OR KEEP INSULATION A MINIMUM OF 3" FROM THE RECESSED HOUSING.
7. ALL BRANCH CIRCUITS SUPPLYING 125V, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
8. ALL EXTERIOR RECEPTACLES, RECEPTACLES OVER COUNTERTOPS, IN BATHROOMS & IN GARAGES TO BE GFI PROTECTED.
9. ALL OUTLETS TO BE TAMPERPROOF.
10. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE REQUIRED FLOOD ELEVATION. IRC R322.
11. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, SYSTEMS ARE PERMITTED TO BE LOCATED BELOW THE DESIGN FLOOD ELEVATION PROVIDED THEY CONFORM TO THE PROVISIONS OF THE ELECTRICAL CODE FOR WET LOCATIONS AND THE PROVISIONS OF IRC R322.1.6.

MECHANICAL NOTES :

1. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL DUCT AND DEFUSER LOCATIONS, DRAINS, ETC. WITH ALL OTHER TRADES BEFORE FRAMING IS STARTED.
2. THE GENERAL CONTRACTOR SHALL REVIEW THE MECHANICAL SYSTEM FOR PLACEMENT OF UNITS AND DUCT RUNS, BEFORE INSTALLATION, AND SHALL PROVIDE REQUIRED FURR DOWNS AND CHASES AS PART OF THE CONTRACT.
3. ARTIFICIAL LIGHT AND AN APPROVED MECHANICAL VENTILATION SYSTEM SHALL BE INSTALLED IN BATHROOMS, TOILET COMPARTMENTS AND SIMILAR ROOMS NOT PROVIDED WITH OPERABLE GLAZED AREAS. THE MINIMUM VENTILATION RATES SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THESE SPACES SHALL BE VENTED DIRECTLY TO THE OUTSIDE.
4. NON-HABITABLE ROOMS, SUCH AS WALK-IN CLOSETS AND PANTRY, SHALL RECEIVE VENTILATION FROM THE AIR HANDLING SYSTEM TO MEET THE REQUIREMENTS OF HABITABLE ROOMS.
5. SUPPLY AND RETURN DUCTS OR PORTIONS THEREOF LOCATED OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-8. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM OF R-6.

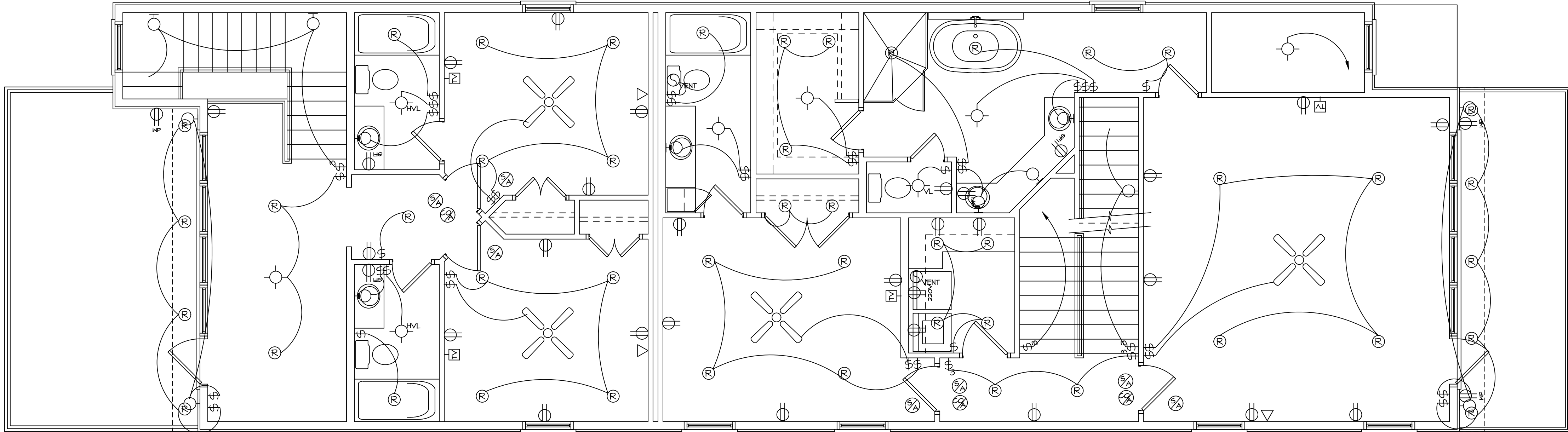
Electrical Legend

- | | | | |
|--|---------------------------------|--|--------------------------|
| | CEILING MOUNTED FIXTURE | | DUPLEX OUTLET |
| | RECESSED FIXTURE | | FLOOR OUTLET |
| | PENDANT FIXTURE | | QUADRAPLEX OUTLET |
| | RECESSED SPOTLIGHT | | GROUND FAULT INTERRUPTER |
| | WALL MOUNTED FIXTURE | | DUPLEX W/ USB PORT |
| | FLOOD LIGHT | | WATERPROOF OUTLET |
| | PAIR - FLOOD LIGHTS | | 220 VOLT OUTLET |
| | TRACK LIGHT | | SWITCHED OUTLET |
| | HEAT/VENT/LIGHT | | SWITCH |
| | VENT/LIGHT | | THREE WAY SWITCH |
| | CEILING FAN | | FOUR WAY SWITCH |
| | CEILING FAN W/ LIGHT | | DIMMER SWITCH |
| | ROPE LIGHTS | | TIMER |
| | SURFACE FLUORESCENT OR LED | | WATERPROOF SWITCH |
| | RECESSED FLUORESCENT OR LED | | TELEPHONE JACK |
| | UNDERCOUNTER FLUORESCENT OR LED | | FLOOR TELEPHONE JACK |
| | FLUORESCENT OR LED STRIP LIGHT | | TELEVISION CABLE |
| | SMOKE ALARM | | CAT 5 COMPUTER CABLE |
| | CARBON MONOXIDE ALARM | | THERMOSTAT |
| | ELECTRICAL PANEL | | JUNCTION BOX |
| | GAS CONNECTION | | DOOR BELL |
| | | | HOSE BIB |



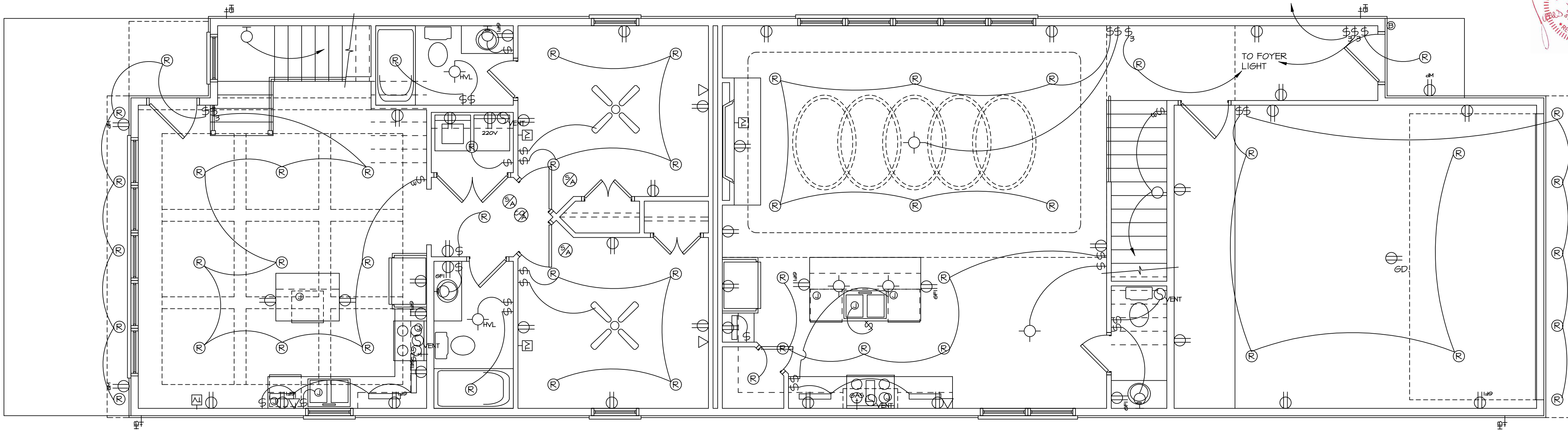
THIRD FLOOR ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"



SECOND FLOOR ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"



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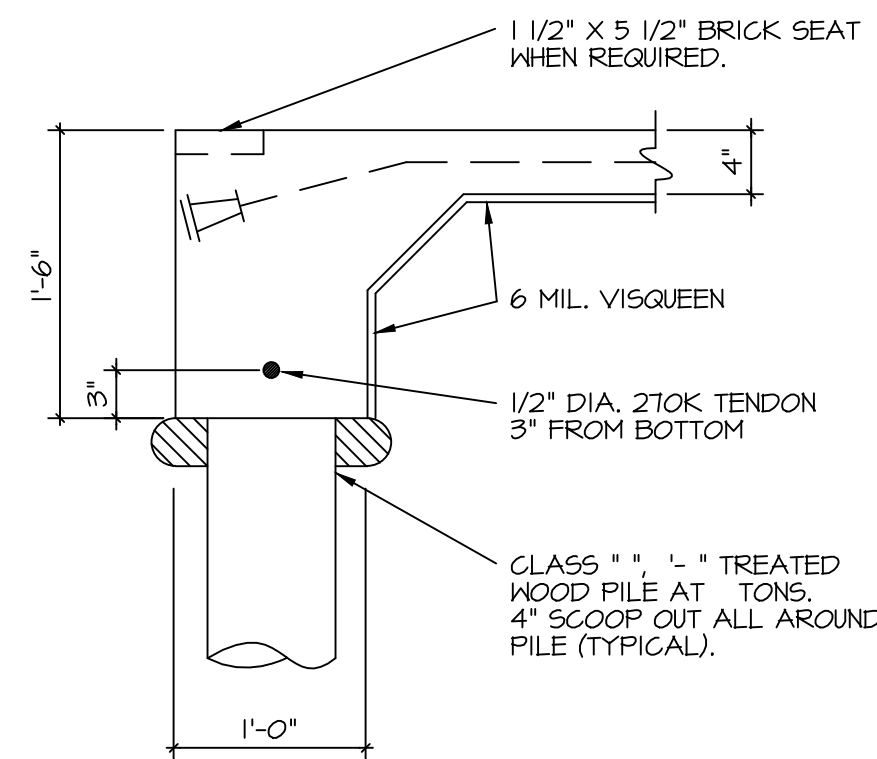
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General Notes:

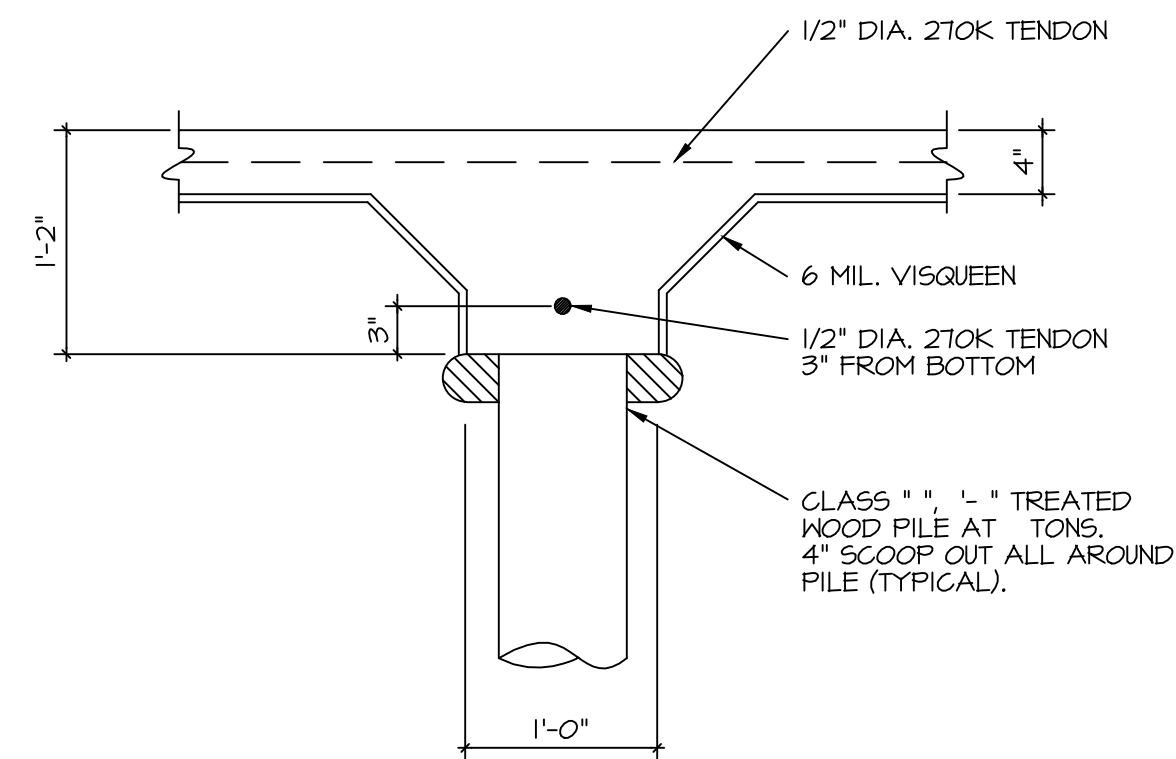
- Concrete design is based upon a concrete mix having a minimum of 5.2 sacks of cement per cubic yard and a maximum of 30 gallons of free and added water per cubic yard. Such a mix should give a minimum compression strength of 3000 psi at 28 days. Concrete design mix shall be in accordance with the A.C.I. Building Code requirements (A.C.I. 318-77).
- All conventional reinforcing steel shall be ASIM Designation A-615 (Grade 60) reinforcing and shall be detailed and accessories provided in accordance with the latest A.C.I. Manual of Standard Practice for detailing reinforced concrete structures.
- Reinforcing shall have 2" cover in grade beam bottoms, 2" cover in beam sides and tops, 1-1/2" cover in slab tops and bottoms, unless otherwise shown.
- Tendons and bars shall be securely supported to prevent both vertical and horizontal movement during placing of concrete.
- The contractor shall verify all drops, off-sets, brick ledges and block-cuts on architectural plans and notify the engineer of any discrepancies that may exist.
- Coordinate structural drawings with architectural, mechanical, and electrical drawings for all openings, inserts, and any other related items.
- Plans for pipes, conduits, thimbles, etc. to pass through concrete slab or beam, must not conflict with reinforcing.
- Provide .006 Polyethylene membrane under all concrete slabs and grade beams.
- All sections shown are the sections at mid-span of grade beams unless otherwise shown.
- The tendons location at the end of the grade beam to be "a minimum of 6" from the top of slab to central gravity of tendons.
- Tendons to be stressed no earlier than 6 days and no later than 14 days after placement of concrete.
- Loading of slab prior to tensioning shall not be done without the approval and direction of the supervising engineer.
- This design to be used only for the below location.
- Catheads to be placed on all live ends prior to placement of concrete.

Pile Note:

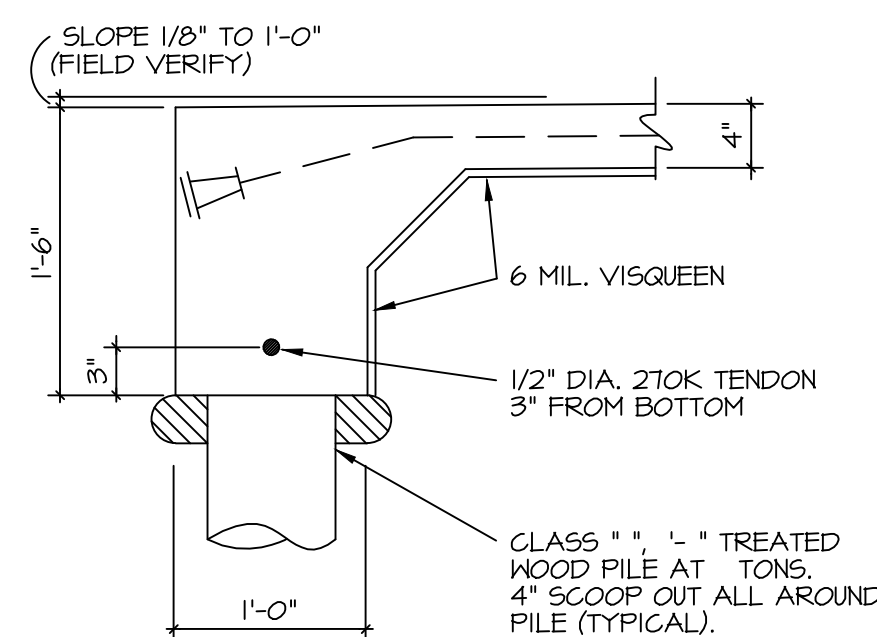
- Use 78 Class #5 Piles driven to 35' feet or to refusal. Design load 4.0 tons.



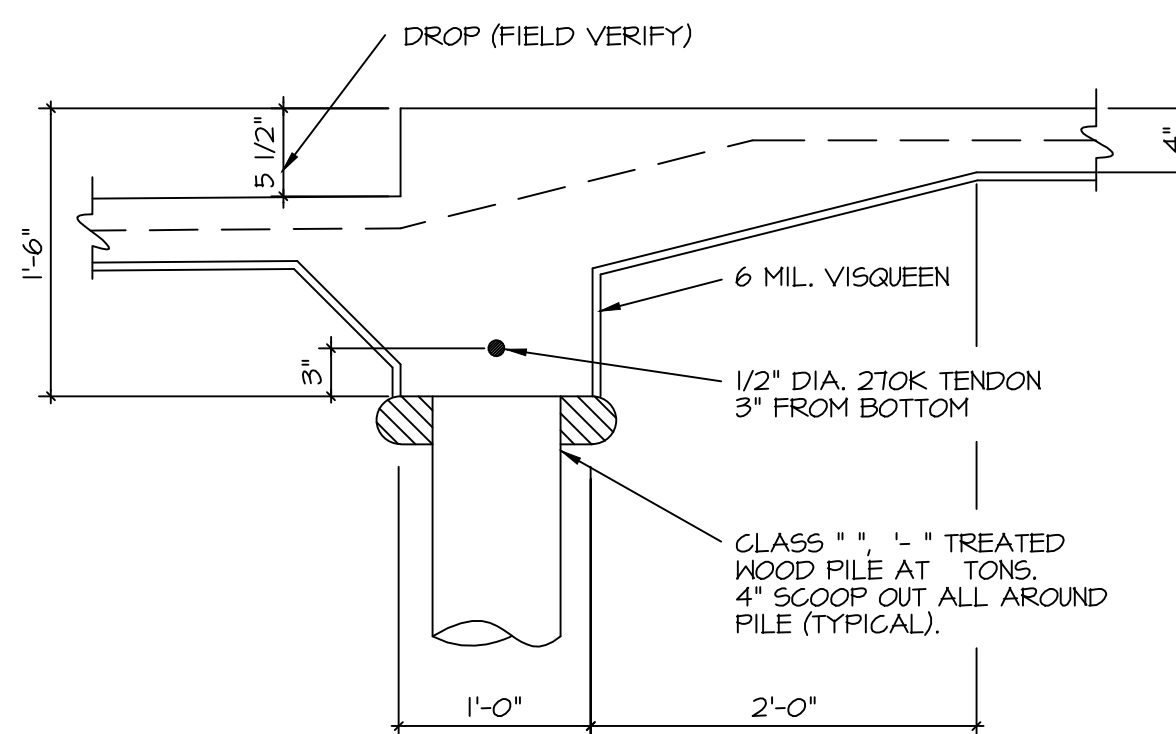
1 SECTION
F-1 SCALE : 1" = 1'-0"



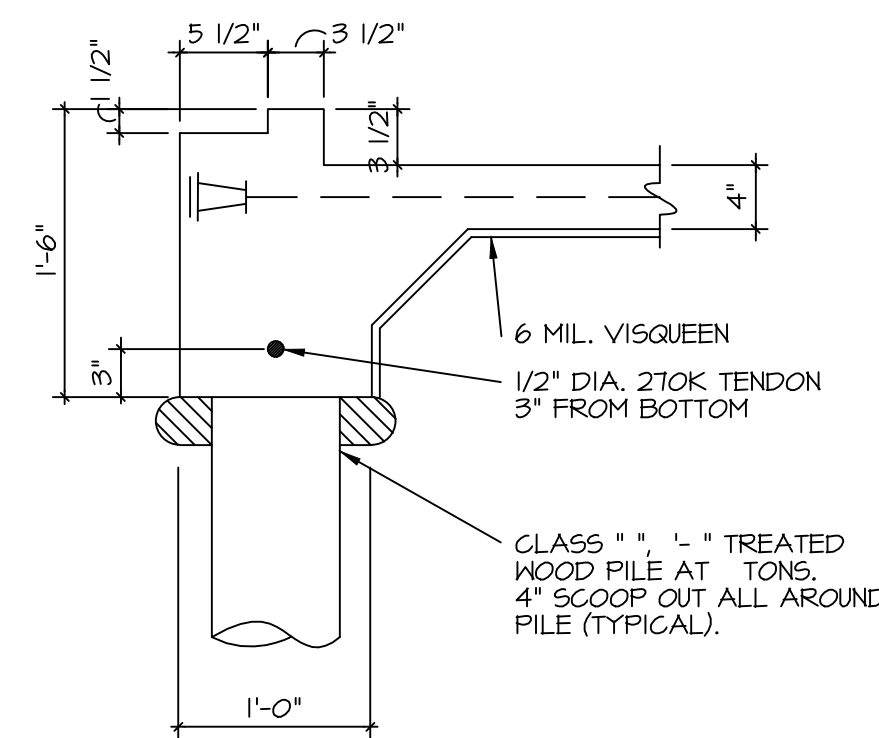
2 SECTION
F-1 SCALE : 1" = 1'-0"



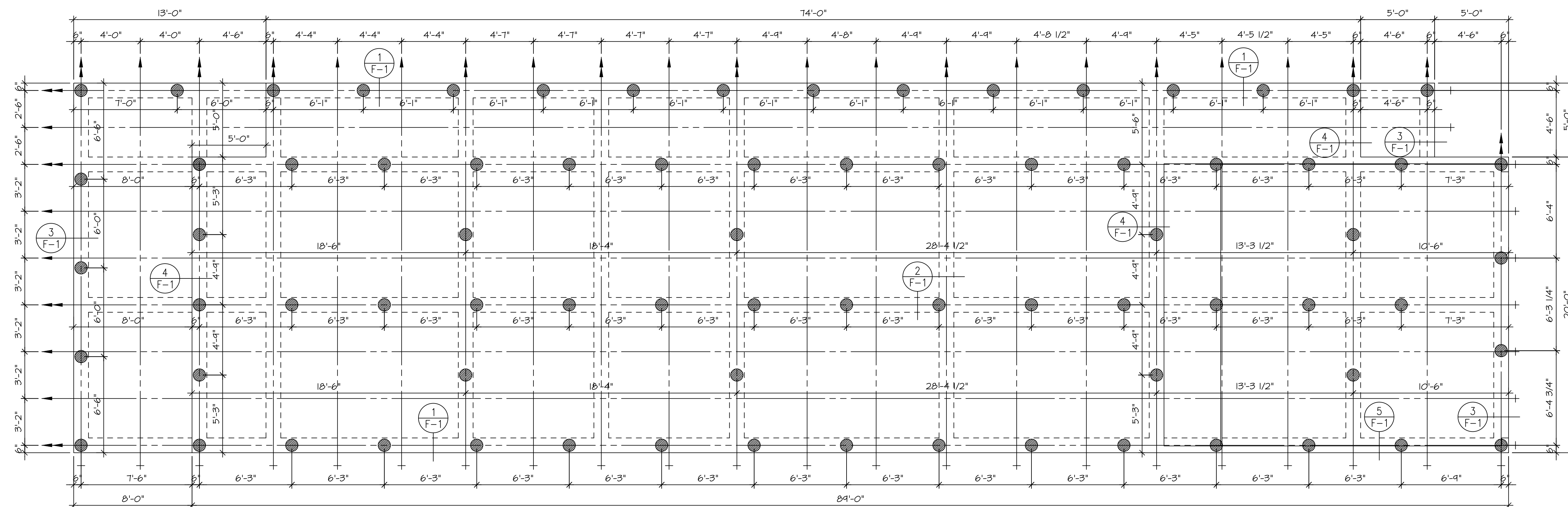
3 SECTION
F-1 SCALE : 1" = 1'-0"



4 SECTION
F-1 SCALE : 1" = 1'-0"



5 SECTION
F-1 SCALE : 1" = 1'-0"



FOUNDATION PLAN

SCALE : 1/4" = 1'-0"



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March 9, 2026

Dear Neighbor,

Please join Christine and Airlonzo Wells for a Neighborhood Participation Program (NPP) meeting regarding the property at 1428 Carondelet.

Date: Tuesday, March 31, 2026

Time: 4:30PM

Location: Central City Library, Allie Mae Williams Multi-Service Center; 2020 Jackson Ave. Suite 139, New Orleans, LA 70113

We are proposing to convert this existing residential property into a quaint, bed and breakfast with four rooms designed to host guests in a comfortable and welcoming environment. The structure is currently habitable, and no major construction or structural modifications are proposed. Our goal is to preserve the character of the property while creating a small-scale lodging experience that complements the surrounding neighborhood.

The property is located in an HU-MU (Historic Urban – Mixed Use) zoning district, where a bed and breakfast is a conditional use according to Article 12, Section 12.2.A (Table 12-1). As part of the required process, our application must be reviewed and heard by the City Planning Commission and City Council and we are required to complete the NPP meeting before submitting our application to the City Planning Commission for review. This meeting is an opportunity to share details of our proposal, answer questions, and receive feedback from residents prior to the formal hearing.

Because you are a nearby neighbor or otherwise interested in the neighborhood, I am inviting you to the NPP meeting where you can learn more about what we propose, and present questions or concerns. This letter is being delivered via the U.S. mail and hand delivery. At the meeting, I will provide a sign-in sheet to obtain email addresses so that I can keep you updated if there are any changes to the plans.

If you are unable to attend and would like to receive information from the meeting, or have any additional questions or comments, please feel free to contact me. I hope to see you at the meeting.

Sincerely,



Krystyna Tate

krystyna@pcmidsouth.com

773-398-6422

NPP Summary Report

Date of Report: March 31, 2026

Project: 1428 Carondelet Bed and Breakfast

Contact: Krystyna Tate, krystyna@pcmidsouth.com

Overview

This report provides results of the implementation of the Neighborhood Participation Program for the property located at 1428 Carondelet. The applicant intends to file an application for a conditional use permit. This property currently sits in the HU-MU district which allows a bed and breakfast but a conditional use permit is required. This report provides a summary of contacts with citizens, neighbors, public agencies and interested parties. Opportunities have been provided to learn about and comment on the proposed plans and actions. Comments, sign-in list, emails and other materials are attached.

Neighborhood Meeting

The following is the date and location of the meeting where citizens were invited to discuss the applicant's proposal [comments and sign in lists are attached].

- March 31, 2026 - Central City Library, 2020 Jackson Ave, 4:30pm-5:30pm, 4 people were in attendance.

Correspondence and Telephone Calls

- March 10, 2026 - meeting notices were mailed to NPP contact list
- March 12, 2026 - meeting notices were emailed to neighborhood associations and the district councilmember
- March 23, 2026 - received email from neighbor in opposition due to an incident 3 years prior.

Results

170 persons/addresses were invited to the NPP meeting which included the City Planning Commission, Council District Rep, and Faubourg Lafayette Community Association.

Concerns, issues and problems expressed by attendees:

- The only issue that was addressed was from an email from a neighbor who complained about an issue during construction.

How concerns, issues and problems will be addressed:

- The owner was able to explain that this was about a dumpster with the contractor. They disagreed about the placement of the dumpster. This occurred in 2023. Since then, the dumpster has been removed and the area is clean.

Follow Up Process

- Participants at the meeting and any persons that have reached out about the project will receive email updates. Emails will be sent as progress is made. If they would like to add

additional concerns, they may email authorized agent Krystyna Tate at krystyna@pcmidsouth.com or submit via the digital comment card link that was shared during the meeting which is tinyurl.com/1428comment . Interested parties can also view updates on the digital handout link which is <https://tinyurl.com/carondeletnpp> .

Residents and Current Owners within 300 Ft Radius - Delivery Method Hand Delivery or USPS Mail

Name	Mailing Address	Mailing City	Mailing St	Mailing Zip
Maison St Charles LC	1319 St Charles Ave	New Orleans	LA	70130
Current Resident	1314 Carondelet St	New Orleans	LA	70130
Current Resident	1319 Saint Charles Ave	New Orleans	LA	70130
Maison St Charlesl L C	C/O Adams Assets With Union Bank A	Lincoln	NE	68501
Current Resident	1331 Saint Charles Ave	New Orleans	LA	70130
1400 Baronne LLC	400 Poydras St Suite 2620	New Orleans	LA	70130
Current Resident	1399 Carondelet St	New Orleans	LA	70113
Maison St Charles LLC	C/O AP Direct LLC P O Box 14451	North Palm Beach	FL	33408
Maison St Charles LLC	C/O Abigail Land Holdings 16 LLC 135	Omaha	NE	68138
Maison St Charlesllc	C/O Abigail Land Holdings 14 LLC 135	Omaha	NE	68138
Maison St Charlesllc	C/O Maison St Charles 1319 St Charle	New Orleans	LA	70130
Current Resident	1400 Carondelet St	New Orleans	LA	70130
Str1 Holding LLC	1139 Oretha Castle Haley Blvd	New Orleans	LA	70113
Current Resident	1401 Carondelet St	New Orleans	LA	70113
1401 St Charles Ave LLC	1330 St Charles Ave	New Orleans	LA	70130
Current Resident	1401 Saint Charles Ave	New Orleans	LA	70130
Charles Ave Properties St	# 5 Rosa Park	New Orleans	LA	70115
Current Resident	1403 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1404 Carondelet St	New Orleans	LA	70130
Current Resident	1405 Carondelet St	New Orleans	LA	70113
Current Resident	1408 Carondelet St	New Orleans	LA	70130
Current Resident	1409 Carondelet St	New Orleans	LA	70113
Current Resident	1411 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1412 Carondelet St	New Orleans	LA	70130
Current Resident	1413 Carondelet St	New Orleans	LA	70113
Current Resident	1415 Saint Charles Ave	New Orleans	LA	70130
1416 Carondelet LLC	1205 8th St	New Orleans	LA	70115
Current Resident	1416 Carondelet St	New Orleans	LA	70130
Jared Lejean Bush	2647 Bridgewater Dr	Grand Prairie	TX	75054
1416-C Carondelet Holdings	1416 Carondelet St Apt C	New Orleans	LA	70130
Darrell W Davis	8565 Tunbridge Wells Dr S	Semmes	AL	36575
Current Resident	1416 Carondelet St Unit A	New Orleans	LA	70130
Current Resident	1416 Carondelet St Unit B	New Orleans	LA	70130
Current Resident	1416 Carondelet St Unit C	New Orleans	LA	70130
Current Resident	1416 Carondelet St Unit D	New Orleans	LA	70130
Current Resident	1417 Carondelet St	New Orleans	LA	70113
Current Resident	1418 Carondelet St	New Orleans	LA	70130
Jeffrey C Schmidtke	438 Henry Clay Ave	New Orleans	LA	70130
Current Resident	1420 Carondelet St	New Orleans	LA	70130
Current Resident	1421 Carondelet St	New Orleans	LA	70113
Current Resident	1421 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1422 Carondelet St	New Orleans	LA	70130
Bundy Palms LLC	4901 Chef Menteur Hwy Ste 8	New Orleans	LA	70126
Current Resident	1423 Carondelet St	New Orleans	LA	70113

Hfr Carondelet LLC	5000 Alexander Dr	Metairie	LA	70003
Current Resident	1426 Carondelet St	New Orleans	LA	70130
Current Resident	1426 Carondelet St Apt E	New Orleans	LA	70130
Current Resident	1427 Carondelet St	New Orleans	LA	70113
Wells One Investments LLC	2800 Veterans Blvd Unit 216	Metairie	LA	70002
Current Resident	1428 Carondelet St	New Orleans	LA	70130
Current Resident	1429 Carondelet St	New Orleans	LA	70113
Current Resident	1429 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1430 Carondelet St	New Orleans	LA	70130
Lc Renovations LLC	40 Chateau Trianon Dr	Kenner	LA	70065
Current Resident	1433 Saint Charles Ave	New Orleans	LA	70130
The Magner Trust	Etal 346 Opal St	New Orleans	LA	70124
Current Resident	1500 Robert C Blakes, SR Dr	New Orleans	LA	70130
1501 RCB LLC	1519 Robert C Blake SR Dr	New Orleans	LA	70130
Current Resident	1501 Robert C Blakes, SR Dr	New Orleans	LA	70113
Jaj Ventures LLC	PO Box 6917	Metairie	LA	70009
Current Resident	1501 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1502 Robert C Blakes, SR Dr	New Orleans	LA	70130
Current Resident	1503 Saint Charles Ave	New Orleans	LA	70130
Steven M Levine	1056 S Ridgeley Dr	Los Angeles	CA	90019
Current Resident	1505 Robert C Blakes, SR Dr	New Orleans	LA	70113
Jaj Ventures LLC	3330 N Causeway Blvd Suite 400	Metairie	LA	70002
Current Resident	1507 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1507 Saint Charles Ave Apt A	New Orleans	LA	70130
Current Resident	1507 Saint Charles Ave Apt B	New Orleans	LA	70130
Current Resident	1507 Saint Charles Ave Apt C	New Orleans	LA	70130
Current Resident	1507 Saint Charles Ave Apt D	New Orleans	LA	70130
Darrell Mellon	1508 Robert C Blakes SR Dr	New Orleans	LA	70130
Current Resident	1508 Robert C Blakes, SR Dr	New Orleans	LA	70130
Current Resident	1508 Robert C Blakes, SR Dr Apt A	New Orleans	LA	70130
Current Resident	1508 Robert C Blakes, SR Dr Apt B	New Orleans	LA	70130
Current Resident	1508 Robert C Blakes, SR Dr Apt C	New Orleans	LA	70130
Current Resident	1508 Robert C Blakes, SR Dr Apt D	New Orleans	LA	70130
1509 RCB LLC	189 Maple Ridge Dr	Metairie	LA	70001
Current Resident	1509 Robert C Blakes, SR Dr	New Orleans	LA	70113
Current Resident	1509 Saint Charles Ave	New Orleans	LA	70130
Moher Properties Fund IV LL	2626 Louisiana Ave	New Orleans	LA	70115
Current Resident	1510 Robert C Blakes, SR Dr	New Orleans	LA	70130
Macie St Charles LLC	1219 Antonine St	New Orleans	LA	70170
Current Resident	1512 Robert C Blakes, SR Dr	New Orleans	LA	70130
Markaryan Tigran V	Etals 4520 N Hermitage Ave 2N	Chicago	IL	60640
Current Resident	1513 Robert C Blakes, SR Dr	New Orleans	LA	70113
Current Resident	1513 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1513 Saint Charles Ave Apt A	New Orleans	LA	70130
Alpha 1 Enterprises LLC	1515 St Charles Ave Unit 203	New Orleans	LA	70130
Current Resident	1515 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1515 Saint Charles Ave Apt 201	New Orleans	LA	70130

Current Resident	1515 Saint Charles Ave Apt 202	New Orleans	LA	70130
Current Resident	1515 Saint Charles Ave Ste 101	New Orleans	LA	70130
Current Resident	1515 Saint Charles Ave Ste 102	New Orleans	LA	70130
Cecilianaveed LLC	1519 Robert C Blakes SR Dr	New Orleans	LA	70130
Current Resident	1519 Robert C Blakes, SR Dr	New Orleans	LA	70113
Current Resident	1519 Robert C Blakes, SR Dr Apt 301	New Orleans	LA	70113
Orleans Property NO 2 LLC	1601 St Charles Ave	New Orleans	LA	70130
Current Resident	1521 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1521 Saint Charles Ave Apt 1A	New Orleans	LA	70130
Current Resident	1521 Saint Charles Ave Apt 2A	New Orleans	LA	70130
Carondelet Condos LLC	189 Maple Ridge Dr	Metairie	LA	70001
Current Resident	1523 Robert C Blakes, SR Dr A	New Orleans	LA	70113
Current Resident	1523 Robert C Blakes, SR Dr B	New Orleans	LA	70113
Rosewood-St Charles 1 LLC	C/O Alpha Capital P O Box 82668	Metairie	LA	76850
Current Resident	1523 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1525 Robert C Blakes, SR Dr	New Orleans	LA	70113
Current Resident	1525 Robert C Blakes, SR Dr C	New Orleans	LA	70113
Current Resident	1525 Robert C Blakes, SR Dr D	New Orleans	LA	70113
Current Resident	1525 Saint Charles Ave	New Orleans	LA	70130
Current Resident	1527 Robert C Blakes, SR Dr	New Orleans	LA	70113
Current Resident	1529 Robert C Blakes, SR Dr	New Orleans	LA	70113
Current Resident	1531 Robert C Blakes, SR Dr	New Orleans	LA	70113
Current Resident	1533 Robert C Blakes, SR Dr	New Orleans	LA	70113
Current Resident	1600 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1605 Thalia St	New Orleans	LA	70130
Current Resident	1610 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1610 Martin Luther King, Jr Blvd Apt 2	New Orleans	LA	70130
Current Resident	1610 Martin Luther King, Jr Blvd Apt 2	New Orleans	LA	70130
Current Resident	1610 Martin Luther King, Jr Blvd Apt 2	New Orleans	LA	70130
Current Resident	1614 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1614 Thalia St	New Orleans	LA	70130
1620 MLK Development LLC	6047 W End Blvd	New Orleans	LA	70124
Current Resident	1618 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1618 Thalia St	New Orleans	LA	70130
Current Resident	1619 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1620 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1620 Thalia St	New Orleans	LA	70130
Current Resident	1621 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1624 Thalia St	New Orleans	LA	70130
Mercier Realty & Investment	C/O Wendy's Properties LLC 1 Dave T	Dublin	OH	43017
Current Resident	1625 Thalia St	New Orleans	LA	70130
Greenfee LLC	PO Box 19902	New Orleans	LA	70179
Current Resident	1626 Martin Luther King, Jr Blvd	New Orleans	LA	70130
St Charles Avenue Properties	5 Rosa Park	New Orleans	LA	70115
Current Resident	1626 Thalia St	New Orleans	LA	70130
Current Resident	1627 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Decatur Holdings LLC of Okla	24 E Ayre	Shawnee	OK	74801

Current Resident	1628 Thalia St	New Orleans	LA	70130
1632 MLK LLC	943 Crystal St	New Orleans	LA	70124
Current Resident	1630 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1631 Thalia St	New Orleans	LA	70130
Current Resident	1632 Martin Luther King, Jr Blvd	New Orleans	LA	70130
Current Resident	1632 Thalia St	New Orleans	LA	70130
Dianna L Phan	1710 Martin Luther King Jr Blvd	New Orleans	LA	70113
Current Resident	1710 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1714 Thalia St	New Orleans	LA	70113
Ronald W Boykins	Miss Linda M Cratchan 1720 Martin Lu	New Orleans	LA	70113
Current Resident	1718 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1720 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1720 Thalia St	New Orleans	LA	70113
Abbie C Sumners	1722 Martin Luther King Jr Blvd	New Orleans	LA	70113
Current Resident	1722 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1723 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Brett Richard Tobin	3034 Maigret St	Honolulu	HI	96816
Current Resident	1724 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1724 Thalia St	New Orleans	LA	70113
Current Resident	1725 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1726 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1728 Thalia St	New Orleans	LA	70113
Current Resident	1729 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Erich W Soraghan	1730 Martin Luther King Jr Blvd	New Orleans	LA	70113
Current Resident	1730 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1731 Martin Luther King, Jr Blvd	New Orleans	LA	70113
Current Resident	1732 Thalia St	New Orleans	LA	70113

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Neighborhood Organizations -- Email Delivery

Organization Name: Faubourg Lafayette Community Association
Point of Contact: Keely Lewis
Phone Number: -
Email: faubourglafayettecommunity@gmail.com
Street Address: -
City: -
Zip: 70113

[DISTRICT B] City Council Representative - Delivery Method Email Preferred

Council Member Lesli Harris
Council Member Address City Hall, Room 2W10
Council Member Email Lesli.Harris@nola.gov
Council Member Phone (504) 658-1020

City Planning Commission - Delivery Method Email Preferred

Email Address CPCinfo@nola.gov

Buffer Area







Krystyna Tate <krystyna@propertycentralmidsouth.com>

1428 Carondelet NPP Notice

1 message

Krystyna Tate <krystyna@pcmidsouth.com>

Thu, Mar 12, 2026 at 8:33 AM

To: Lesli.Harris@nola.gov, cpcinfo@nola.gov

Good Morning,

Please find attached our notice to host a Neighborhood Participation Meeting concerning the property 1428 Carondelet. If you have any questions, please let me know. We look forward to seeing you at the meeting.

Krystyna



Carondelet NPP Letter.pdf

501K



Krystyna Tate <krystyna@propertycentralmidsouth.com>

1428 Carondelet NPP Notice

1 message

Krystyna Tate <krystyna@pcmidsouth.com>

Thu, Mar 12, 2026 at 8:33 AM

To: "faubourglafayettecommunity@gmail.com" <faubourglafayettecommunity@gmail.com>

Good Morning,

Please find attached our notice to host a Neighborhood Participation Meeting concerning the property 1428 Carondelet. If you have any questions, please let me know. We look forward to seeing you at the meeting.

Krystyna



Carondelet NPP Letter.pdf

501K



Krystyna Tate <krystyna@propertycentralmidsouth.com>

opposition to 1428 Carondelet B&B-NPP response

2 messages

Alissa Schmidtke <alissaschmidtke@gmail.com>
To: krystyna@pcmidsouth.com

Mon, Mar 23, 2026 at 8:14 AM

Hello there, I am the owner of 1420 Carondelet.

I received your NPP notice for B&B zoning request for 1428 Carondelet.

I will be actively opposing this request.

The owner of this building was uncooperative in speaking with me during his renovation period and still has not completed the request for construction, dirt and debris clean up at the street curb opposite the house where he had his dumpster located the entire time of the build. He ignored those requests and was impolite in his responses. I am still waiting for clean up of that area. I may have been open to a B&B at this location, if the owner was cooperative, workable, and responsive, but that has not been the case. I will be looking for clean up of the street curb.

I will be encouraging my neighbors to oppose this as well.

Please include this email as my NPP response, I will be looking for it in the documents submitted as part of your zoning request.

--

Alissa Villarrubia Schmidtke
504.251.5612
alissaschmidtke@gmail.com

Krystyna Tate <krystyna@pcmidsouth.com>
To: Alissa Schmidtke <alissaschmidtke@gmail.com>

Thu, Mar 26, 2026 at 8:49 PM

Received. Thank you.

[Quoted text hidden]

NPP MEETING SIGN-IN SHEET

Meeting Date/Time: 3/31/26 4:30pm

Meeting Location: Central City Library

Project Name/Address: K128 Carondelet

[illegible]

1428 Carondelet Neighborhood Participation Meeting

Date: March 31, 2026

Location: Central City Library, Allie Mae Williams Multi-Service Center

I. Welcome

- A. Introduction of speakers and their relationship to the project
- B. Overview of handouts
- C. Disbursement of Comprehensive Zoning Article

II. Description of the Project

- A. Proposal detail
- B. Citations of Comprehensive Zoning Ordinance
- C. Note of zone and zone change request
- D. Specs of building
- E. Neighborhood impact

III. Public Comment

- A. Open floor for comments
- B. Retrieve comment cards

IV. Summary

- A. Update and follow up procedure

V. Next Steps

- A. Commission Online Tools



Building/Construction
Related Permit



Received by _____
Sign Provided ☐ Date _____
Tracking Number _____

LAND-USE REQUEST APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov or in person at 1300 Perdido St., 7th Floor, New Orleans, LA 70112. Incomplete applications will not be accepted and will be returned to the applicant.

Type of application: ☐ Text Amendment ☐ Zoning Change ☒ Conditional Use/Planned Development

Address of Property for which this application is being filed.

1428 Carondelet, New Orleans, LA 70130

APPLICANT INFORMATION

Applicant Identity: ☐ Property Owner ☒ Agent

Applicant Name Krystyna Tate

Applicant Address 4349 Genoa Rd

City New Orleans State LA Zip 70129

Applicant Contact Number 773-398-6422 Email krystyna@pcmidsouth.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE ☐

Property Owner Name Wells One Investments LLC

Property Owner Address 2800 Veterans Blvd Unit 216

City Metairie State LA Zip 70002

Property Owner Contact Number 504-329-9358 Email ALWells07@gmail.com

SPECIFIC ZONING REQUEST

PROPERTY LOCATION

Square Number(s) 211 Lot Number(s) A/089

Bounding Streets Melpomene

Zoning HU-MU

Municipal District 1

Tax Bill Number 101107001

Planning District 2

DESCRIPTION OF PROJECT (Attachments are acceptable)



Building/Construction
Related Permit



Received by _____

Sign Provided ☐ Date _____

Tracking Number _____

LAND-USE REQUEST APPLICATION

ACKNOWLEDGMENTS

I (we) hereby affirm that ownership and property information presented on this application is current and accurate and, further, that the undersigned meet the requirements of Article 16 of the Comprehensive Zoning Ordinance to submit this application. I (we) acknowledge that inaccurate or incomplete ownership, improper authorization, or property identification will make this application and resulting actions null and void. I (we) the undersigned owner and authorized agent of the area of land described above, hereby submit for your approval the above stated request.

Owner Signature _____

Date

4-13-26

Agent Signature _____

Date

4-13-26

If ownership is joint, each owner must be listed. If ownership is a partnership, the Partnership Agreement must be included. If ownership is a corporation, Articles of Incorporation (full document filed with the Secretary of State) and a Board Resolution authorizing an individual or agent to sign on its behalf must be included. If ownership is a LLC, Articles of Organization (full document filed with the Secretary of State) and legal documentation authorizing an individual or agent to sign on its behalf must be included. If necessary, submit proof of ownership documents, such as copies of the recorded act of sale, act of exchange, act of donation, cash sale or deed.

STATE OF LOUISIANA, PARISH OF ORLEANS

Before me, the undersigned authority, personally appeared the person(s) whose signature are affixed above, all of the full age of the majority, who declared under oath to me, Notary, that they are the owners or authorized agents of the property described above, and that their signatures were executed freely and voluntarily and that they are duly qualified to sign.

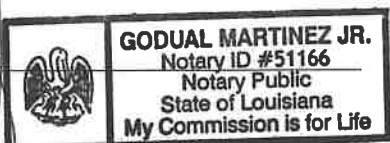
Sworn to and subscribed before me this _____

13

day of

April 2026

My Commission expires _____



WELLS ONE INVESTMENTS LLC

2800 Veterans Blvd Unit 216

Metairie, LA 70002

April 13, 2026

RE: Authorization of Agent Representation

To Whom It May Concern,

This letter serves as formal authorization for DeShawn Davenport and Krystyna Tate, representatives of No Stress Code Compliance, to act as authorized agents on behalf of Wells One Investments LLC in all matters related to the property located at:

1428 Carondelet
New Orleans, Louisiana 70130

As authorized agents, DeShawn Davenport and Krystyna Tate are granted full authority to:

- Speak on behalf of Wells One Investments LLC.
- Submit applications, documents, plans, and related paperwork
- Communicate with city, parish, state, and other governmental agencies
- Attend and participate in public hearings, meetings, and proceedings
- Receive correspondence and respond as necessary regarding this project

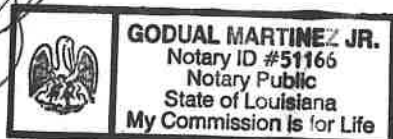
This authorization is granted for matters pertaining specifically to the above-referenced property and project and shall remain in effect unless revoked in writing by Wells One Investments LLC.

Should you require any additional information or verification, please do not hesitate to contact us directly.

Sincerely,

Airlonzo Wells

Wells One Investments LLC



U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

OMB Control No. 1660-0008
Expiration Date: 06/30/2026

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>WELLS ONE INVESTMENTS, LLC.</u>		Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>1428-30 CARONDELET STREET</u>		Company NAIC Number: _____
City: <u>NEW ORLEANS</u> State: <u>LA</u> ZIP Code: <u>70130</u>		
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>LOT: A, SQUARE: 211, 1ST DISTRICT, PARISH OF ORLEANS</u>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>Residential</u>		
A5. Latitude/Longitude: Lat. <u>29 56 23.4</u> Long. <u>-90 04 35.9</u> Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983 ☐ WGS 84		
A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).		
A7. Building Diagram Number: <u>1A</u>		
A8. For a building with a crawlspace or enclosure(s):		
a) Square footage of crawlspace or enclosure(s): <u>N/A</u> sq. ft.		
b) Is there at least one permanent flood opening on two different sides of each enclosed area? ☐ Yes ☐ No ☒ N/A		
c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>N/A</u> Engineered flood openings: <u>N/A</u>		
d) Total net open area of non-engineered flood openings in A8.c: <u>N/A</u> sq. in.		
e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): <u>N/A</u> sq. ft.		
f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): <u>N/A</u> sq. ft.		
A9. For a building with an attached garage:		
a) Square footage of attached garage: <u>469</u> sq. ft.		
b) Is there at least one permanent flood opening on two different sides of the attached garage? ☐ Yes ☒ No ☐ N/A		
c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>0</u> Engineered flood openings: <u>0</u>		
d) Total net open area of non-engineered flood openings in A9.c: <u>0</u> sq. in.		
e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): <u>0</u> sq. ft.		
f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): <u>0</u> sq. ft.		
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION		
B1.a. NFIP Community Name: <u>CITY OF NEW ORLEANS</u>		B1.b. NFIP Community Identification Number: <u>225203</u>
B2. County Name: <u>ORLEANS</u>	B3. State: <u>LA</u>	B4. Map/Panel No.: <u>22071C0229</u> B5. Suffix: <u>F</u>
B6. FIRM Index Date: <u>09/30/16</u>		B7. FIRM Panel Effective/Revised Date: <u>09/30/16</u>
B8. Flood Zone(s): <u>X</u>		B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>N/A</u>
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: ☐ FIS ☒ FIRM ☐ Community Determined ☐ Other: _____		
B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____		
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No Designation Date: _____ ☐ CBRS ☐ OPA		
B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? ☐ Yes ☒ No		

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

1428-30 CARONDELET STREET

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

City: NEW ORLEANS State: LA ZIP Code: 70130

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: GPS OBSERVATIONS-ALCO Vertical Datum: NAVD88

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other: _____

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used?

☒ Yes ☐ No

If Yes, describe the source of the conversion factor in the Section D Comments area.

Check the measurement used:

a) Top of bottom floor (including basement, crawlspace, or enclosure floor):

6.7

☒ feet ☐ meters

b) Top of the next higher floor (see Instructions):

18.7

☒ feet ☐ meters

c) Bottom of the lowest horizontal structural member (see Instructions):

N/A

☒ feet ☐ meters

d) Attached garage (top of slab):

N/A

☒ feet ☐ meters

e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area):

6.7

☒ feet ☐ meters

f) Lowest Adjacent Grade (LAG) next to building: ☐ Natural ☒ Finished

4.9

☒ feet ☐ meters

g) Highest Adjacent Grade (HAG) next to building: ☐ Natural ☒ Finished

5.0

☒ feet ☐ meters

h) Finished LAG at lowest elevation of attached deck or stairs, including structural support:

5.0

☒ feet ☐ meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No

☐ Check here if attachments and describe in the Comments area.

Certifier's Name: RICHMOND W. KREBS, SR. License Number: LA4836

Title: PROFESSIONAL LAND SURVEYOR - CEO

Company Name: R.W. KREBS PROFESSIONAL LAND SURVEYING, LLC

Address: 3445 N. CAUSEWAY BLVD., SUITE 201

City: METAIRIE State: LA ZIP Code: 70002

Signature:  Date: 07-17-2023

Telephone: 504-889-9616 Ext.: _____ Email: infonola@rwkrebs.com



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):

LATITUDE/LONGITUDE OBTAINED BY GPS.

SECTION C2e.) A/C PAD

EXISTING CENTERLINE OF STREET 4.1' / EXISTING TOP OF CURB 3.6'

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
1428-30 CARONDELET STREET

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

City: NEW ORLEANS State: LA ZIP Code: 70130

SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ ☒ feet ☐ meters ☐ above or ☐ below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ ☒ feet ☐ meters ☐ above or ☐ below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: _____ ☒ feet ☐ meters ☐ above or ☐ below the HAG.

E3. Attached garage (top of slab) is: _____ ☒ feet ☐ meters ☐ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: _____ ☒ feet ☐ meters ☐ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

☐ Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Telephone: _____ Ext.: _____ Email: _____

Comments: _____

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

1428-30 CARONDELET STREET

FOR INSURANCE COMPANY USE

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City: NEW ORLEANS State: LA ZIP Code: 70130

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a. ☐ A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b. ☐ A local official completed Section H for insurance purposes.
- G3. ☐ In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4. ☐ The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: _____ G6. Date Permit Issued: _____
- G7. Date Certificate of Compliance/Occupancy Issued: _____
- G8. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum: _____
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ ☐ feet ☐ meters Datum: _____
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ ☐ feet ☐ meters Datum: _____
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ ☐ feet ☐ meters Datum: _____
- G11. Variance issued? ☐ Yes ☐ No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: _____ Title: _____

NFIP Community Name: _____

Telephone: _____ Ext.: _____ Email: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
1428-30 CARONDELET STREET

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

City: NEW ORLEANS State: LA ZIP Code: 70130

SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). **Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.**

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) **For Building Diagrams 1A, 1B, 3, and 5–9.** Top of bottom _____ ☐ feet ☐ meters ☐ above the LAG floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is:

b) **For Building Diagrams 2A, 2B, 4, and 6–9.** Top of next _____ ☐ feet ☐ meters ☐ above the LAG higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is:

H2. Is **all** Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

☐ Yes ☐ No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

☐ Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Telephone: _____ Ext.: _____ Email: _____

Comments: _____

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS
See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
1428-30 CARONDELET STREET

City: NEW ORLEANS State: LA ZIP Code: 70130

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo One

Photo One Caption:

Clear Photo One



Photo Two

Photo Two Caption:

Clear Photo Two

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
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FOR INSURANCE COMPANY USE

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Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo Three

Photo Three Caption:

Clear Photo Three

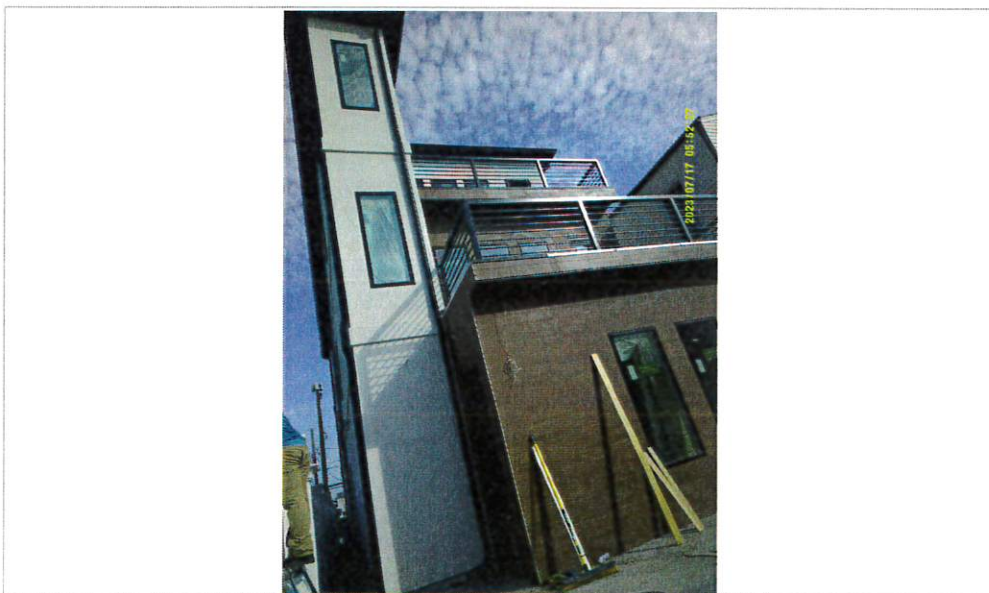


Photo Four

Photo Four Caption:

Clear Photo Four