

City Planning Commission
Staff Report
Tuesday, April 14, 2026

Zoning Docket 039-26

Prepared by: Haley Webb

Date: 4/15/26

Deadline for CPC action: 6/13/26

CC Deadline: 30 days

City Council District: District C – King

Applicant: Art House NOLA, Inc. and Get the Gorilla, LLC

Request: Amendment to Ordinance No. 26,276 MCS (Zoning Docket 123/14) to permit a planned development authorizing the expansion of an indoor amusement facility.

Property description: Square 337, Lots 3A and 3-A1, in the Second Municipal District, bounded by North Broad Street, North Dorgenois Street, Saint Peter Street, and Toulouse Street

Municipal address: 636-650 North Broad Street

Description

Figure 1: Subject Site



(Source: Provided by Applicant)

The subject property is located on the corner of North Broad Street and Saint Peters Street. The site includes The Broad Theater, which previously underwent a large renovation and opened to the public in 2016. While indoor amusement facilities are allowed by-right within the HU-MU District, the Planned Development request is to allow for an addition to the existing indoor amusement facility as the maximum total floor area permitted is 10,000 square feet¹. If approved, this will allow the applicant to include an additional two movie screening rooms.

¹ Section 12.3.A (Table 12-2: Bulk & Yard Regulations) prohibits commercial uses over 10,000 square feet of total floor area.

The structure was originally built in 1924 as a plumbing and heating warehouse. Since its creation, it has served as a boxing gym, boat shop, law office, and even an oyster processing facility.

It is important to note that the subject property is located within the Parkview Historic District and is partially controlled by the New Orleans Historic District Landmarks Commission (HDLC). Any new construction or demolition must be reviewed and approved by the HDLC.

Figure 3: Proposed Site Plan

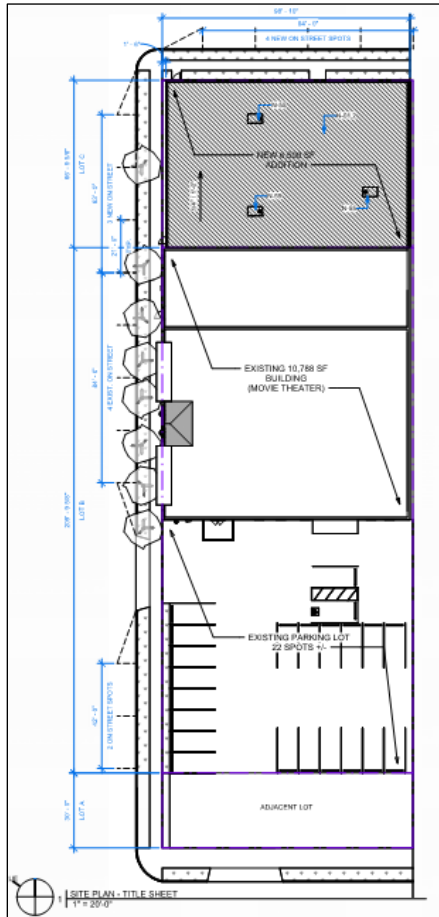
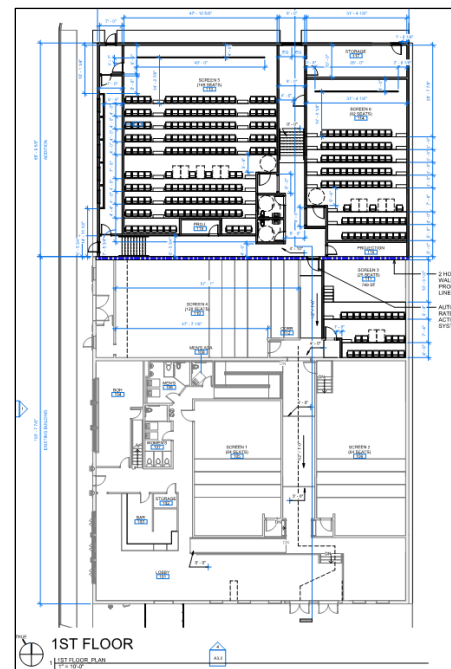


Figure 2: Proposed Rendering



Figure 4: Proposed Floor Plan



Reason for Commission Review

This is a request to rescind the existing conditional use (Ordinance No. 26,276) which grants an "Indoor Amusement Facility" as this request was made under the previous Zoning Ordinance which only allowed such uses as conditional. Subsequently, the applicant is seeking to construct a 6,500 square foot addition through the Planned Development process. Per **Article 5, Section 5.2.C.2 (General Standards for Planned Developments)**, the adaptive reuse of an existing commercial structure in the HU-MU Historic-Urban Mixed-Use District may be authorized through the Planned Development process, and **Section 5.2.D** allows for the granting of special uses otherwise prohibited in the underlying zoning district. The City Planning Commission is required to make a recommendation on all conditional use and planned development applications prior to City Council action, in accordance with **Article 4, Sections 4.3.D.3 and 4.4.E.3 – Action by the City Planning Commission** of the Comprehensive Zoning Ordinance.

Analysis

The use of the site as an Indoor Amusement Facility is allowed in the HU-MU District as a permitted use. The planned development tool is used to create zoning regulations that are flexible to a developer in exchange for a “substantial public benefit” to the City (per section 5.3.B). Types of substantial benefits include historic preservation, adaptive reuse and open space and recreational amenities. The staff finds that the requested design exception, which is to allow the property to be greater than 10,000 square feet in floor area, would provide this benefit. The proposed expansion is located on a currently vacant land that sits at the corner of Nort Broad and Saint Peter Streets. The proposed addition would complement and preserve the existing historic building that the Broad theater currently occupies, while offering a larger space for community to congregate.

Figure 5: Existing Condition of the Petitioned Site



Use Standards for Amusement Facilities, Indoor or Outdoor	
Requirement	Notes
1. An indoor or outdoor amusement facility shall submit the following impact management plans, to be reviewed by the Director of Safety and Permits, and all other relevant City agencies: a. A noise abatement plan. b. A security and operational plan. The security plan shall include the provision of exterior security cameras.	The noise abatement plan and the security and operational plan may be satisfied through the submittal of required documentation to the Department of Safety and Permits as part of the permitting/licensing process, should this application be approved.
2. If a standard restaurant or bar is allowed within the zoning district, such uses may be included as part of the indoor amusement facility so long as separate approval is obtained for the standard restaurant or bar. If alcoholic beverages are served, the applicant shall submit a summary of the number and location of places of worship, educational facilities, and parks and playgrounds within three-hundred (300) feet of the proposed location, which may trigger a prohibition as part of Section 10-110 of the City Code.	The applicant shall comply.
3. If the use plans an increase in intensity, such as an expansion of floor area or increase in permitted occupancy, the security and operational plan shall be updated and resubmitted for approval. A revised security and operational plan shall be approved prior to the issuance of any permits.	The applicant shall comply.
4. The security and operational plan may be revised by the property owner or person authorized in writing by the owner. New plans shall be resubmitted for approval.	The applicant shall comply.
5. Live entertainment-secondary use and outdoor love entertainment-secondary use are separate principal uses and subject to separate approval. Additionally, the amusement facility must remain open while any live entertainment takes place.	The applicant shall comply.

- In accordance with **Section 5.2.D General Standards for Planned Developments** of the Comprehensive Zoning Ordinance the developer shall be granted an exception of **Section 12.3.A.1 (Table 12-2: Bulk & Yard Regulations) Maximum Total Floor Area – Commercial Use** to allow an indoor amusement facility to be greater than 10,000 square feet in total floor area.
- In accordance with **Article 20.3.E Amusement Facility, Indoor or Outdoor** the applicant shall submit a noise abatement plan, a security and operations plan and surrounding area information to be reviewed by the Director of Safety and Permits, and all other relevant City agencies prior to permitting.

According to **Article 22 Table 22- 1** Off street Vehicle and Bicycle Parking requirements, the use as an Indoor Amusement Facility *Movie Theater* requires one (1) parking space per four (4) seats for the first 400 seats, and one (1) parking space per six (6) seats after the first 400 seats. Additionally, one (1) bicycle parking space is required for every 2,500 square feet of gross floor area. Properties in the HU-MU District are allowed to exempt the first 5,000 sf of GFA from the vehicle parking requirements. Assessing these requirements, the applicant is required to provide 74 vehicle parking spaces along with seven (7) bicycle parking spaces.

The applicant has provided 28 parking spaces off-street, and seven (7) parking spaces on-street, totaling 35 parking spaces. The applicant is deficient 39 vehicle parking spaces and seven (7) bicycle parking spaces. The site already provides a surface parking lot at the corner of North Broad and Toulouse Streets. That parking area cannot physically be expanded. While additional bicycle parking spaces could easily be provided either on site or on the sidewalk, staff believes that granting an exception of the vehicle parking requirement is justified because expanding the theater onto a vacant corner lot along a major commercial corridor would better benefit the City than denying the proposed expansion and leave this lot vacant. The expansion of this historic adaptable use cannot be done without granting relief of the parking requirement.

The Planned Development standards allow exceptions to be made of parking requirements for buildings which are providing a public benefit. An exception to the vehicle parking requirement can be included as described below:

- In accordance with **Section 5.2.D** *General Standards for Planned Developments* of the Comprehensive Zoning Ordinance the developer shall be granted an exception vehicle parking requirements in Section 22.4.A (Table 22-1) *Off-Street Parking Requirements* to support the adaptive reuse of the historic structure in accordance with the Planned Development process.
- The applicant shall indicate the installation of the minimum required bicycle parking spaces, as set forth in **Article 22, Section 22.6 (Table 22-1)** of the Comprehensive Zoning Ordinance, on the final plans submitted to the City Planning Commission. The design of bicycle parking spaces shall comply with the requirements as set forth in **Article 22, Section 22.9** of the Comprehensive Zoning Ordinance.

Further the applicant is seeking relief from the permeable open space requirement, which, in HU-MU districts is 10% minimum of the lot area. The proposed addition would occupy the entirety of the lot adjacent to the existing theater. While the proposed expansion is on a separate lot of record, it will operate as one single development with the entirety of the Broad Theater site and existing parking lot. The intent of the planned development process is to allow flexibilities for adaptive reuse. However, the proposal can be designed in a way where it allows the expansion of the use while meeting the permeable open space requirement, for example, by taking some of existing parking area and making it permeable.

- The applicant shall indicate the installation of the minimum permeable open space, as set forth in **Article 12, Section 12.3.A.1 (Table 12-2)** of the Comprehensive Zoning Ordinance, on the final plans submitted to the City Planning Commission.

Anticipated impact on surrounding land uses

As the subject property is located along a commercial corridor, surrounding properties are characterized primarily by commercial and mixed-use development, with uses that already accommodate elevated

levels of activity and traffic. As such, the anticipated impacts associated with the proposed use are not expected to be incompatible with the existing context.

Evaluation of approval standards

The City Planning Commission recommendation and the City Council decision on applications for a planned development shall, on the basis of all information submitted, evaluate the impact of the planned development on the surrounding properties to ensure the appropriateness of the planned development at a particular location and ensure that the planned development will not have an adverse impact on the surrounding neighborhood. The Commission and Council are required to specifically consider the extent to which the proposal meets the approval standards contained in **Article 4, Section 4.4.G Approval Standards** of the Comprehensive Zoning Ordinance. In this section, the staff evaluates the application using those standards.

The proposed planned development complies with the applicable standards of [Article 5](#).

This standard is **met**.

Article 5 allows the planned development process to be used for existing commercial structures over 10,000 square feet in area. The proposal would further the goals of the planned development process, which allow for customized zoning regulations to support the preservation and adaptive reuse of historical structures.

The proposed planned development at the specified location is consistent with the policies embodied in the adopted Master Plan.

This standard is met. The Home Rule Charter of the City of New Orleans requires all land use actions to be consistent with the Master Plan. A land use action is consistent with the Plan for the 21st Century, commonly known as the Master Plan, if it furthers, or at least does not interfere with, the goals, policies, and is compatible with the proposed future uses, densities, and intensities designated in the Land Use Element of the Plan. "Chapter 13: Land Use Plan" of the Master Plan designates on the Future Land Use Map (FLUM) of the petitioned site as "Mixed-Use Medium Density." The goal, range of uses, and development character for that designation are copied below.

MIXED-USE MEDIUM DENSITY

Goal: Create medium-density neighborhood centers to enhance walkability and serve as focal points within neighborhoods. Proximity to transit encouraged.

Range of Uses: Medium-density single-family, two-family and multifamily residential and commercial uses. Limited light industrial uses (small food manufacturers, craft and value added industry and passive warehousing and storage) may be allowed in some areas. Agricultural, stormwater management, and supporting public recreational and community facilities are allowed. Transit and transportation facilities are allowed.

Development Character: Height, mass and density of new development varied to ensure proper transitions to surrounding lower density residential neighborhoods. Many structures will feature ground floor retail with residences on upper floors. Allow the adaptive reuse of historic non-residential structures with densities higher than the surrounding neighborhood through the

planned development process. Allow higher residential densities when a project is providing significant public benefits such as long-term affordable housing. Incorporate risk reduction and adaptation strategies in the built environment.

The proposal fits within the general goal, range of uses and development character of the Mixed-Use Medium Density designation, which includes adaptive reuse of historic structures like this one.

The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods and, as required by the particular circumstances, includes improvements or modifications either on-site or within the public right-of-way to mitigate development-related adverse impacts.

This standard is met. The site is located within an HU-MU Historic Urban Neighborhood Mixed-Use District which encourages mixed-use areas that are compatible with adjacent or nearby land uses. Additionally, the Planned Development Process was designed for sites like this, whereby the scale of a development no longer fits within the allowable uses in a zoning district. The preservation of these structures and occupancy are critical to the character of the community. As discussed previously, the adaptive reuse complies as a public benefit to allow the Planned Development and to grant exceptions as necessary.

Any proposed variance from zoning standards meets the approval standards of Section 4.6.F. with the exception that the required affordable housing units as part of the affordable housing development shall not be subject to a variance.

This is not applicable. The staff finds the non-conforming condition (the parking deficiency) to be something that can be addressed through an exception to the zoning requirements. An exception to the parking requirement supports the continued use and preservation of the movie theater. Regarding variances, the applicants have been notified of potential waivers should new plans not address the recommended provisos. Currently, the applicants have not stated an intent to request any variances.

Staff Recommendation

The staff recommends **APPROVAL** of Zoning Docket 039/26 subject to two (2) exceptions and five (5) provisos.

Exceptions

1. In accordance with **Section 5.2.D General Standards for Planned Developments** of the Comprehensive Zoning Ordinance the developer shall be granted an exception of **Section 12.3.A.1 (Table 12-2: Bulk & Yard Regulations) Maximum Total Floor Area – Commercial Use** to allow an indoor amusement facility to be greater than 10,000 square feet in total floor area.
2. In accordance with **Section 5.2.D General Standards for Planned Developments** of the Comprehensive Zoning Ordinance the developer shall be granted an exception of all on-site parking requirements in Section 22.4.A (Table 22-1) *Off-Street Parking Requirements* to support the expansion of an adaptive reuse of the historic structure in accordance with the Planned Development process.

Provisos

1. Ordinance No. 26,276 shall be rescinded as indoor amusement facilities are allowed by-right within the HU-MU District and no longer requires use approval conditionally.
2. The Department of Safety and Permits shall issue no building permits or licenses for this project until final development plans are approved by the City Planning Commission and recorded with the Office of Conveyances. Failure to complete the conditional use process by properly recording plans within a one-year time period or failure to request an administrative extension as provided for in **Article 4, Section 4.3H** of the Comprehensive Zoning Ordinance will void the Planned Development approval.
3. In accordance with **Article 20.3.E Amusement Facility, Indoor or Outdoor** – the applicant shall submit a noise abatement plan, a security and operations plan, and surrounding area information to be reviewed by the Director of Safety and Permits, and all other relevant City agencies prior to permitting.
4. The applicant shall indicate the installation of the minimum required bicycle parking spaces, as set forth in **Article 22, Section 22.6 (Table 22-1)** of the Comprehensive Zoning Ordinance, on the final plans submitted to the City Planning Commission. The design of bicycle parking spaces shall comply with the requirements as set forth in **Article 22, Section 22.9** of the Comprehensive Zoning Ordinance.
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City Planning Commission Meeting (April 14, 2026)

The staff summarized the application and presented its recommendation of approval. The representative of the applicant spoke on behalf of the owner. Representative asked to remove the proviso needing two bicycle parking spaces and the proviso requiring minimum permeable open space. The staff responded that if additional bicycle parking is required, it could be located in the public right-of-way with DPW's approval. The representative was not aware this was a possibility.

The staff also spoke to minimum permeable open space requirement and the location of where it could be located. A different representative explained why it would be difficult to meet the permeability proviso due to the ownership of the two lots. Staff views the two lots as one development site. The representative stated they could look into the design.

Commissioner Poche made a motion for approval, which was seconded by Commissioner Kepper and adopted.

MOTION:

BE IT MOVED BY THE CITY PLANNING COMMISSION THAT ZONING DOCKET 039/26 IS HEREBY RECOMMENDED FOR APPROVAL SUBJECT TO TWO (2) EXCEPTIONS AND FIVE (5) PROVISOS. BE IT FURTHER MOVED THAT THE EXECUTIVE DIRECTOR IS HEREBY AUTHORIZED TO NOTIFY THE CITY COUNCIL OF SAID ACTION.

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YEAS: Jackson, Joshi-Gupta, Kepper, Poche, Steeg, Witry

NAYS:

ABSENT: Flick, Hebert, Jordan

PROPERTY INFORMATION

Building Number

Unit Number

Site Address

656 N BROAD ST, LA, 70119

First Owner Name

ART HOUSE NOLA INC

Second Owner Name

Mailing Address

636 NORTH BROAD STREET

Mailing City

NEW ORLEANS

Mailing State

LA

Mailing Zip 5

70119

Mailing Zip +4

Use Code

Property Description

SQ 337 N BROAD ST AND ST PETER ST LOT 3-A1 66.8X100

GeoPIN

41016832

Tax Bill ID

207109601

Lot

3-A1

Square

BLOCK

337

PARID

656-NBROADST

Parcel Area (sq.ft.)

6667

Parcel Dimensions (ft.)

66.8X100

Assessor Records and Sales/Transfer Information (<https://beacon.schneidercorp.com/Application.aspx?AppID=979&LayerID=19792&PageTypeID=4&PageID=8663&Q=1886938444&KeyValue=656-NBROADST>)

ZONING

Zoning District

HU-MU

Zoning Description

Historic Urban Neighborhood Mixed-Use District (<https://czo.nola.gov/article-12/>)

Uses

Permitted and Conditional Uses (<https://czo.nola.gov/article-12#12-2>)

FUTURE LAND USE

Future Land Use

MUM

Future Land Use Description

Mixed-Use Medium Density (<https://masterplan.nola.gov/volume-2/13/#2-13-c>)

OVERLAYS AND INTERIM ZONING DISTRICTS

Overlay / IZD Description

AC-1 Arts and Culture Diversity Overlay District

Visit City Planning's site to view the regulations of this Overlay. (<http://czo.nola.gov/article-18/#18-9>)

Overlay / IZD Description

EC Enhancement Corridor Design Overlay District

Visit City Planning's site to view the regulations of this Overlay. (<http://czo.nola.gov/article-18/#18-15>)

Overlay / IZD Description

Non-Commercial Short Term Rental Special Exception Interim Zoning District

Visit City Planning's site to view the regulations of this Overlay. (<https://czo.nola.gov/article-19/#19-4-A-21>)

Overlay / IZD Description

Customary Lodging Services Staffing Interim Zoning District

Visit City Planning's site to view the regulations of this Overlay. (<https://czo.nola.gov/article-19/#19-4-A-22>)

Overlay / IZD Description

Transient Lodging Interim Zoning District

Visit City Planning's site to view the regulations of this Overlay. ([https://czo.nola.gov/czo/media/IZD/2025/M-25-530-\(SUBSTITUTE-MOTION\).pdf](https://czo.nola.gov/czo/media/IZD/2025/M-25-530-(SUBSTITUTE-MOTION).pdf))

Overlay / IZD Description

Data Center Interim Zoning District

Visit City Planning's site to view the regulations of this Overlay. (<https://czo.nola.gov/czo/media/IZD/2026/M-26-63.pdf>)

Regulations in the overlay and interim zoning districts are combined with the base zoning district. In the event of overlapping districts, please contact the New Orleans One Stop Shop (<https://nola.gov/onestop>) for interpretation of the Overlays/Interim Zoning Districts.

MANDATORY INCLUSIONARY ZONING

Description

MIZ Mandatory Inclusionary Zoning Sub-Districts; Strong Sub-District 2

View the CZO article on Mandatory Inclusionary Zoning. (<https://czo.nola.gov/article-28/>)

LOCAL HISTORIC DISTRICTS

Name

Parkview

Ordinance

Calendar No. 31,709

Jurisdiction

NOHDL

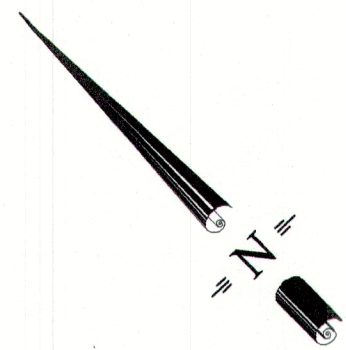
Control

Partial

NATIONAL REGISTER OF HISTORIC PLACES

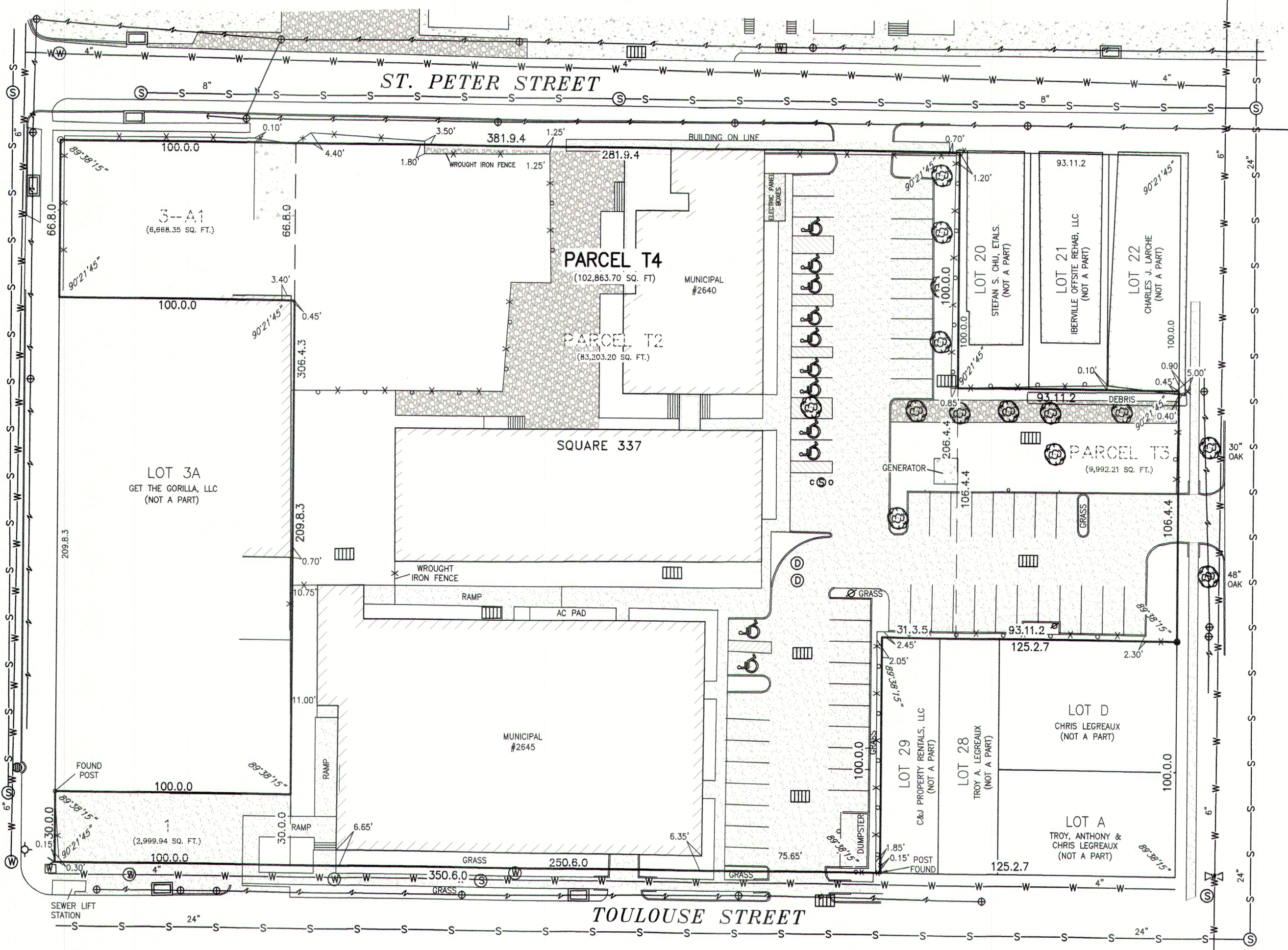
Name

Parkview Historic District



N. BROAD STREET

N. DORGENOIS STREET



LEGEND

- = CONCRETE
- = GRAVEL
- = DRAIN MANHOLE
- = DRAIN INLET
- = WATER LINE
- = SEWER LINE
- = FIRE HYDRANT
- = LIGHT POLE
- = WATER VALVE
- = TREE
- = CROSS FOUND
- = 12" IRON ROD SET
- = IRON ROD FOUND
- = WATER METER
- = CATCH BASIN
- = DROP INLET
- = WATER MANHOLE
- = SEWER MANHOLE
- = UTILITY POLE
- = OVERHEAD UTILITY LINE
- = FENCE

SCALE: 1" = 40'



VICINITY MAP
(NOT TO SCALE)

SURVEY REFERENCE

1. RESUBDIVISION OF PARCEL T, LOT 2-A & 3-A INTO PARCEL T2, PARCEL T3 AND LOT 3-A1, SQUARE 337, SECOND DISTRICT BY CODY A. DIMARCO, P.L.S., DATED NOVEMBER 20, 2019.

ANGLE BASIS

TAKEN FROM REFERENCED SURVEY PLAT.

GENERAL SURVEY NOTES

IMPROVEMENTS MAY NOT BE TO SCALE FOR CLARITY. THE DIMENSIONS SHOWN PREVAIL OVER SCALE.

	SEWER HOUSE CONNECTION NOS.	WATER HOUSE CONNECTION NOS.
2623-25 TOULOUSE	# 174561	# 92367
2619-21 TOULOUSE	# 025391	# 49946
2615-17 TOULOUSE	# 46025	# 54275
2811 TOULOUSE	# 137591	# 130872
2817 TOULOUSE	# 151515	# 47950
2811 TOULOUSE	# 187759	# 130872
	# 151704	

RESUBDIVISION OF LOT 1, LOT 3-A1, PARCEL T2 & T3 INTO PARCEL T4 SQUARE 337 SECOND DISTRICT CITY OF NEW ORLEANS ORLEANS PARISH, LOUISIANA

I CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. MADE AT THE REQUEST OF:

ST. BERNARD PROJECT

DADING, MARQUES & ASSOCIATES, LLC
PROFESSIONAL LAND SURVEYORS

P.O. BOX 790
METAIRIE, LA. 70004
(504) 834-0200

CODY A. DIMARCO
License No. 5069
PROFESSIONAL LAND SURVEYOR

CODY A. DIMARCO
P.L.S. LA. ST. REG. NO. 5069

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND COMPLIES WITH THE REQUIREMENTS OF LOUISIANA'S STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY.

DATE:	SCALE:	DRAWN BY:	CHECKED BY:	JOB NO.:	SHEET:
02-01-2021	1" = 40'	L.M.	C.A.D.	60122	1 OF 1

PLANNED DEVELOPMENT DRAWINGS

BROAD THEATER EXPANSION

656 BROAD ST
NEW ORLEANS LA



- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES - PROJECT

SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A1.1	TITLE SHEET / SITE PLAN	02/12/26			
A2.1	FLOOR PLANS - EXISTING / DEMO	02/12/26			
A2.2	FLOOR PLANS - PROPOSED	02/12/26			
A3.1	EXISTING / DEMO ELEVATIONS	02/12/26			
A3.2	PROPOSED ELEVATIONS	02/12/26			
A4.1	BUILDING SECTIONS	02/12/26			

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
6500 ADDITION TO EXISTING MOVIE THEATER. REQUIRES PLANNED DEVELOPMENT AND SPECIAL LIFE SAFETY CONSIDERATIONS. AS ADDITION IS ON SEPARATE PROPERTY LINE AND PROPERTY IS NOT TO BE SUBDIVIDED. 2 HOUR BARRIER WITH ALARM SYSTEM TO BE PROVIDED AT PROPERTY LINE / ADDITION.

NOTES:
1. BBSA REQUIRED FOR BUILDING CROSSING PROPERTY LINE.
2. BBSA REQUIRED FOR LACK OF PLUMBING FIXTURES (SEE CALC.)
3. PLANNED DEVELOPMENT REQUIRED FOR ZONING FOLLOWING DEFICIENCIES
A. MINIMUM PERMEABLE OPEN
B. # OF PARKING SPACES REQ'D
C. MAXIMUM SQUARE FOOTAGE (ADDITION IS OVER 5K, AND COMBINED SQUARE FOOTAGE IS OVER 10K)

PERMIT TYPE

RENOVATION / ADDITION (STRUCTURAL)
LEVEL OF ALTERATION
+ 2 (50% VALUE OF BUILDING)
+ ADDITION

OWNER:
BRIAN KNIGHTEN
504-919-1078
BRIAN.KNIGHTEN@GMAIL.COM

ARCHITECT
ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

MEP ENGINEER
LAGNIAPPE ENGINEERING
1305 DISTRIBUTORS ROW STE K
ELMWOOD, LA 70123
(504) 338-4584
RLHOSTE@LCG-MEP.COM

STRUCTURAL/CIVIL ENGINEER
AP DESIGN GROUP
JOSHUA JUNEAU, PE
504-410-5322
JJUNEAU@AP-ENG.COM

PROJECT INFORMATION

ZONING/CODE INFORMATION

ZONING DISTRICT: HU-MU
OVERLAY DISTRICT: AC-1 Arts and Culture Diversity Overlay District
EC ENHANCEMENT CORRIDOR DESIGN OVERLAY DISTRICT

PROPOSED DEVELOPMENT:
BUILDING SQUARE FOOTAGE (TOTAL): 10,788 EXIST
PROJECT SQUARE FOOTAGE (TOTAL): + 6,500 NEW (17,288 SF GROSS)

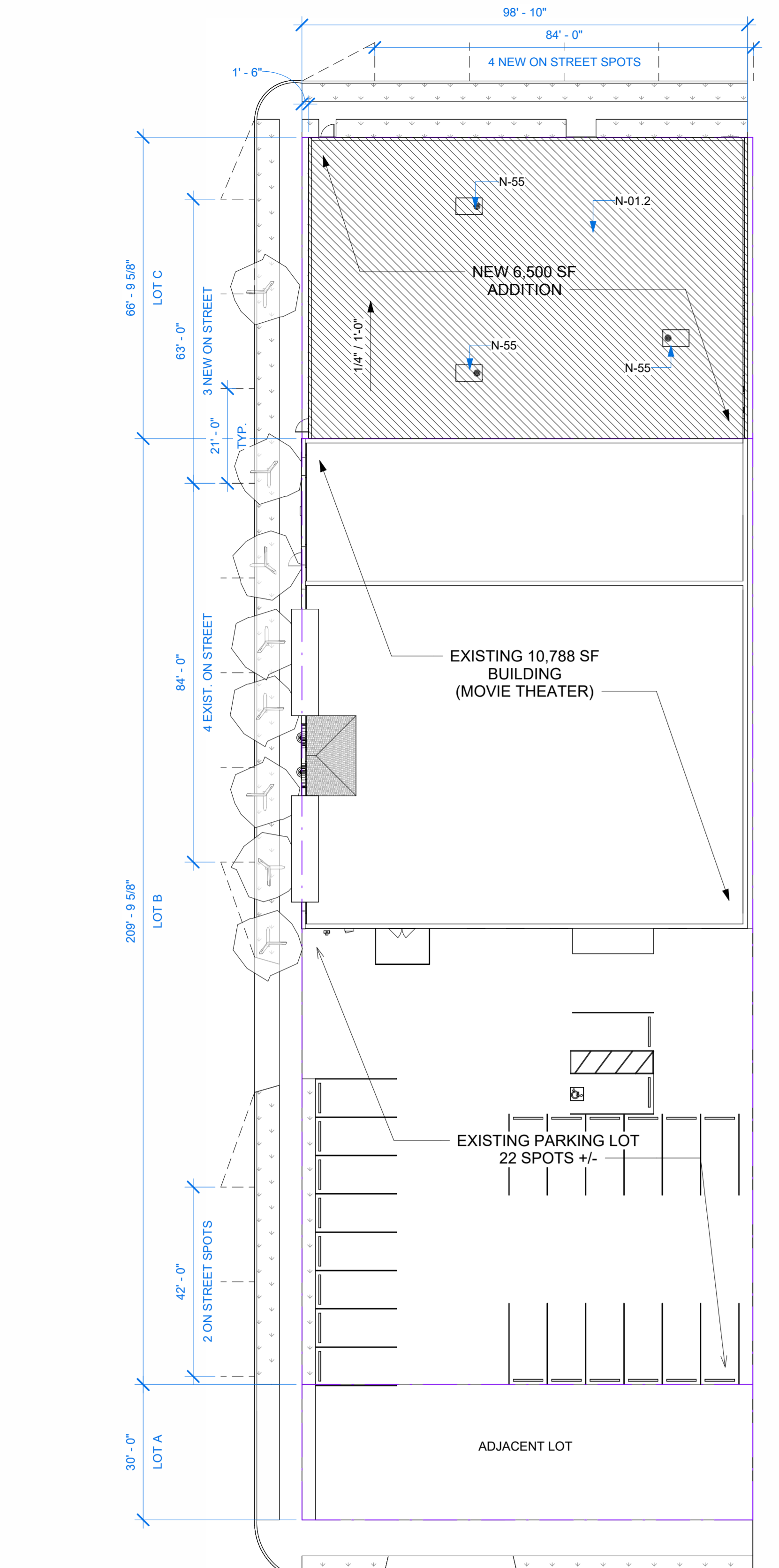
NO. OF STORIES: 1
PROJECT ON FLOOR: 1
BUILDING HEIGHT: 21'-4"

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE II-A II (111) PROTECTED NON-COMBUSTIBLE

OCCUPANCY TYPE:
IBC: RESIDENTIAL (R-2)
STORAGE (S-2)
BUSINESS (B)
MERCANTILE (M)
ASSEMBLY (A-2)
NFPA: RESIDENTIAL - GROSS SF:
ASSEMBLY, GROSS SF: 10,788 EXIST + 6,500 NEW (17,288 SF GROSS)

SPRINKLERED / FIRE ALARM:
YES / YES (MONITORED)
NFPA 13

APPLICABLE CODES:
• 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS (BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
• 2015 EDITION NFPA 101
• 2021 INTERNATIONAL MECHANICAL CODE
• 2021 LOUISIANA STATE PLUMBING CODE
• NFPA 70, 2020 NATIONAL ELECTRIC CODE
• 2021 INTERNATIONAL FUEL CODE
• 2021 INTERNATIONAL ENERGY CONSERVATION CODE
• 2015 ADA ADDA GUIDELINES
• 2021 INTERNATIONAL EXISTING BUILDING CODE



1 SITE PLAN - TITLE SHEET
1" = 20'-0"

Parking calculation:
Existing:
HU-MU 5,000 sqft exemption - 5000/10788 = 46%
Existing seats - 296/4 = 74 required parking spaces - 74*.46= 34; 74-34 = 40 spaces required
22 spaces provided + 6 existing on street (28 total existing spaces)= 40-28 = 12 GF spaces

New Total:
5000/17288 = 29%
524 new total of seats
400/4 = 100; 124/6 = 21 = total required 121
121*.29 = 35; 121-35=86 spaces required
86-12 GF = 74 - 28 provided = 46 - 7 new on-street = 39 Total parking required

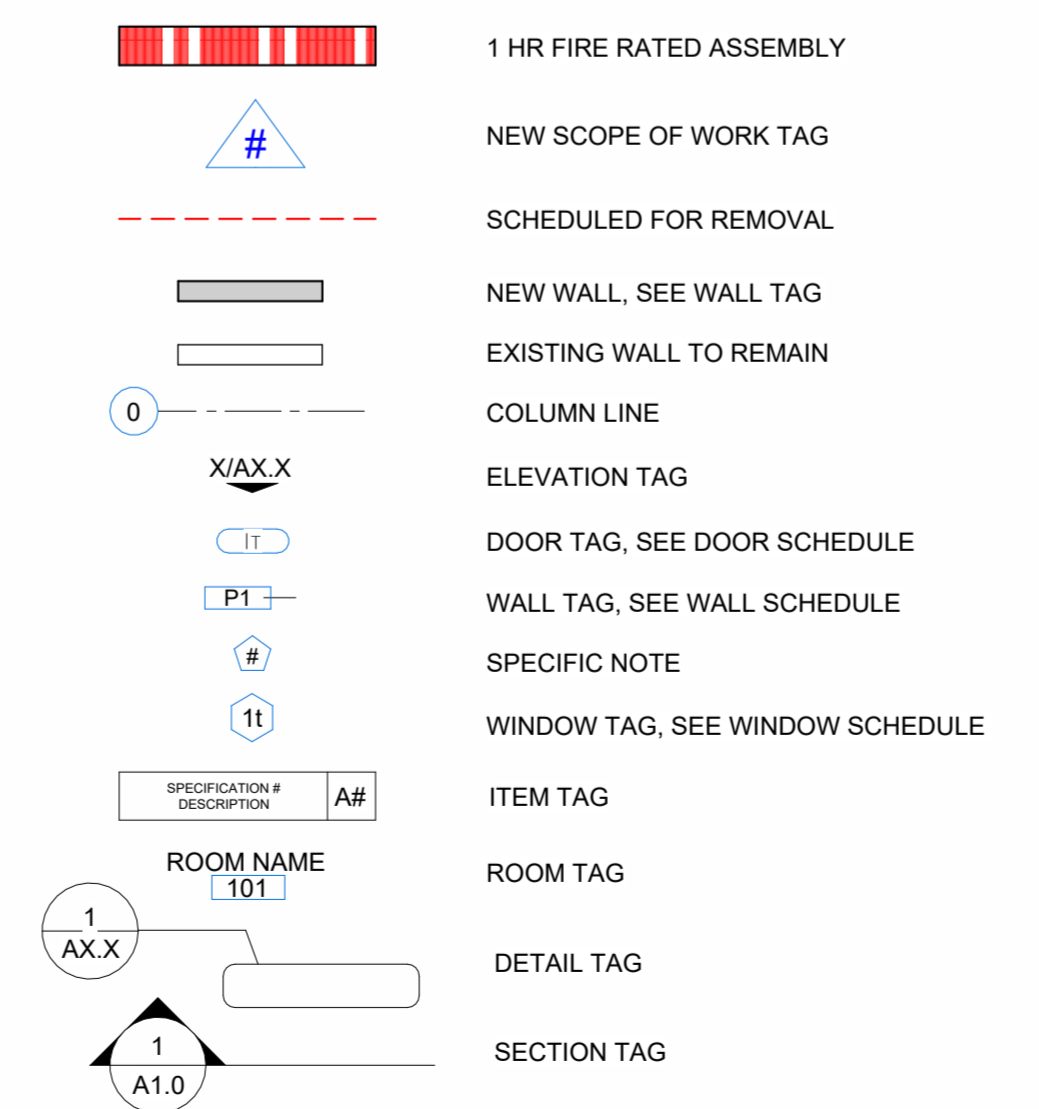
ZONING: HU-MU

REQUIREMENTS:
MIN. LOT SIZE
MIN. PERMIABLE AREA
FRONT YARD SETBACK
SIDE YARD SETBACK
REAR YARD SETBACK
MAXIMUM SF PARKING*

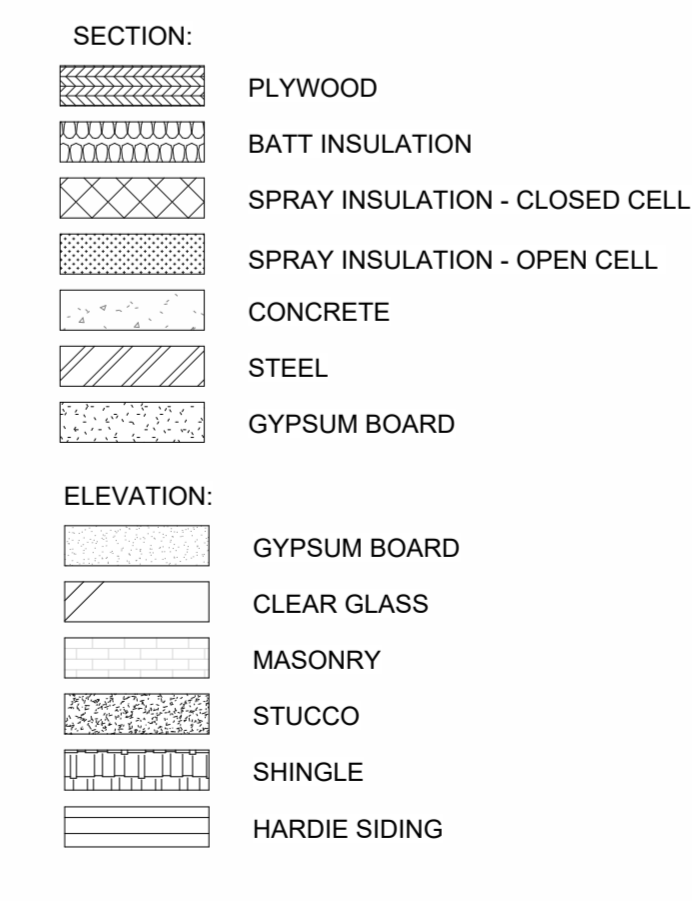
REQ:
NONE
10%
AVG SURROUNDING (NONE)
NONE
NONE
10,000 / 5,000 OR MORE REQUIRES CONDITIONAL USE
39 SPOTS +/- (VERIFY WITH ZONING)

COMPLIANCE:
YES
NO (SEEKING VARIANCE)
YES (ETR)
YES (ETR)
YES
NO (SEEKING VARIANCE)
NO (SEEKING VARIANCE)

Energy Code Compliance Summary IECC 2021		PARISH		CLIMATE ZONE 2A FOR ORLEANS	
COMPLIANCE METHOD	CHECK				
PRESCRIPTIVE	✓				
RESO/CHECK (HTTP://WWW.ENERGYCODES.GOV/RESO/CHECK)					
COM/CHECK (HTTP://WWW.ENERGYCODES.GOV/COM/CHECK)					
BUILDING AREA	VALUE				
TOTAL AREA (SQ FT) OF CONDITIONED SPACE	ENTER R VALUE				
INSULATION VALUES (R402)					
CEILING/ROOF	R-38				
WALLS	R-13				
BASEMENT	/				
FLOOR	R-13				
SLAB	/				
CRAWLSPACE	/				
HEATING EQUIPMENT	EFFICIENCY (BTU/S/RATING)				
ELECTRIC	TBD. SEE GENERAL NOTE 1 BELOW				
GAS	TBD. SEE GENERAL NOTE 1 BELOW				
COOLING EQUIPMENT	EFFICIENCY (BTU/SEER)				
FENESTRATION U VALUE	U-VALUE				
40 MAX					
FENESTRATION SHGC	SHGC				
20 MAX					
SKYLIGHT U VALUE	U-VALUE				
NA					



LEGEND - PLAN



LEGEND - HATCH

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zach@zachsmithconsulting.com
+1 (504) 383-3748

BROAD THEATER EXPANSION
656 BROAD ST
NEW ORLEANS LA

No.	Description	Date

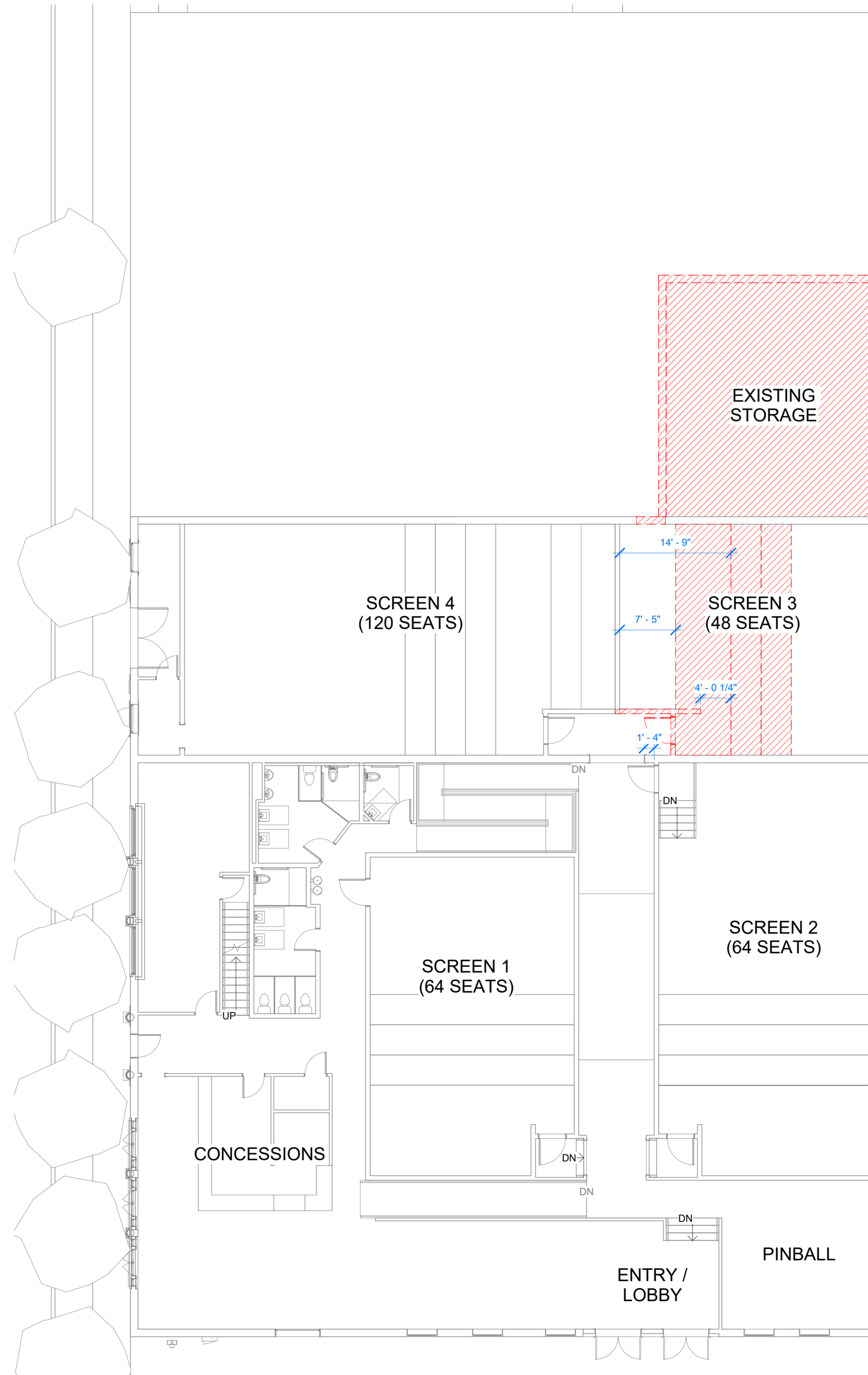
TITLE SHEET / SITE PLAN

PERMIT FILING
Date 02/12/26

A1.1



KEYNOTES - SHEET	
Key Value	Keynote Text



TRUE
1ST FLOOR
 1 | 1ST FLOOR - EXISTING
 1" = 10'-0"

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BROAD THEATER EXPANSION
 656 BROAD ST
 NEW ORLEANS LA

No.	Description	Date

NOT FOR CONSTRUCTION

FLOOR PLANS - EXISTING / DEMO

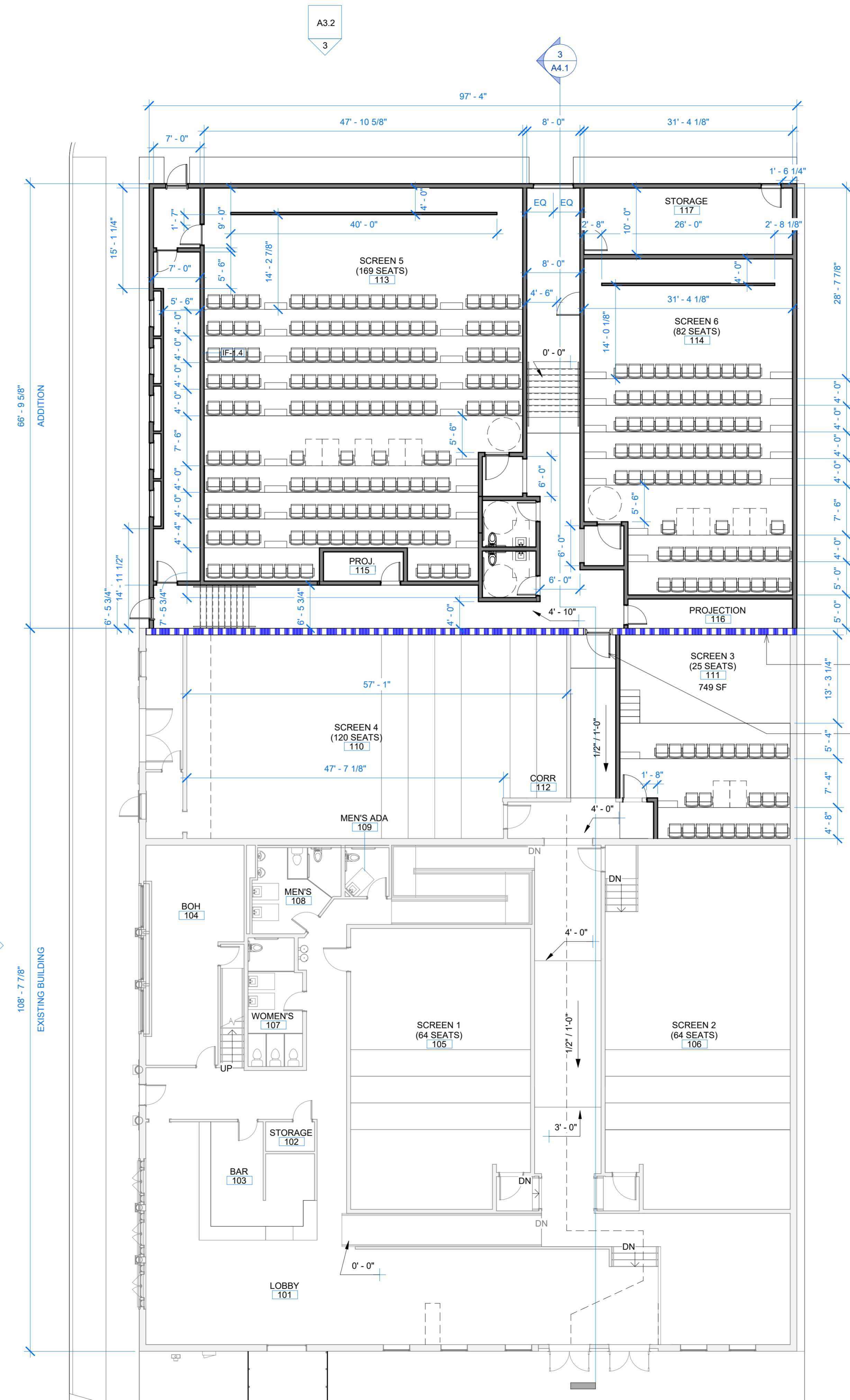
PERMIT FILING
 Date 02/12/26

A2.1

Autodesk Docs://656 Broad St/2_656 Broad St_656 Broad St_Addition_c.rvt
 2/12/26 8:09:23 AM

Autodesk Docs://656 Broad St./656 Broad St./656 Broad St. Addition_c.rvt
2/12/2026 9:09:28 AM

KEYNOTES - SHEET	
Key Value	Keynote Text



- NOTES:**
1. BBSA REQUIRED FOR BUILDING CROSSING PROPERTY LINE.
 2. BBSA REQUIRED FOR LACK OF PLUMBING FIXTURES (SEE CALC.)
 3. PLANNED DEVELOPMENT REQUIRED FOR ZONING FOLLOWING DEFICIENCIES
 - A. MINIMUM PERMEABLE OPEN
 - B. # OF PARKING SPACES REQ'D
 - C. MAXIMUM SQUARE FOOTAGE (ADDITION IS OVER 5K, AND COMBINED SQUARE FOOTAGE IS OVER 10K)

SEEKING PLANNED DEVELOPMENT TO ADDRESS THESE ITEMS

PLUMBING COUNT (ADDITION ONLY)
 250 OCCUPANTS = 125 MALE / 125 FEMALE
 1 MALE (1 PER 125) / 2 FEMALE WATER CLOSETS REQUIRED (1 PER 65)
 1 MALE / 1 FEMALE LAV REQUIRED. (1 PER 200)

2 UNI-SEX TOILETS AND LAVS PROVIDED (3 TOILETS REQ'D / 2 LAVS) DEFICIENT 1 TOILET

PLUMBING COUNT (FACILITY)
 169 + 82 + 25 + 25 + 120 + 64 + 64 = 550

225 WOMEN / 225 MEN:
 4 FEMALE WATER CLOSETS REQUIRED (**5 PROVIDED**)
 2 FEMALE LAV REQUIRED (**3 PROVIDED**)
 2 MALE WATER CLOSETS REQUIRED (**4 PROVIDED**)
 2 MALE LAV REQUIRED (**4 PROVIDED**)

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BROAD THEATER EXPANSION
 656 BROAD ST
 NEW ORLEANS LA

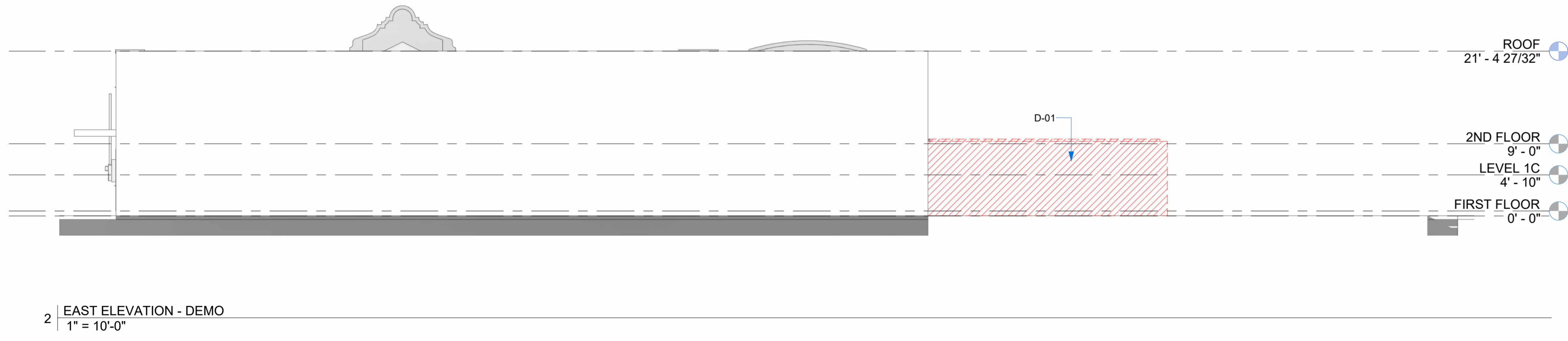
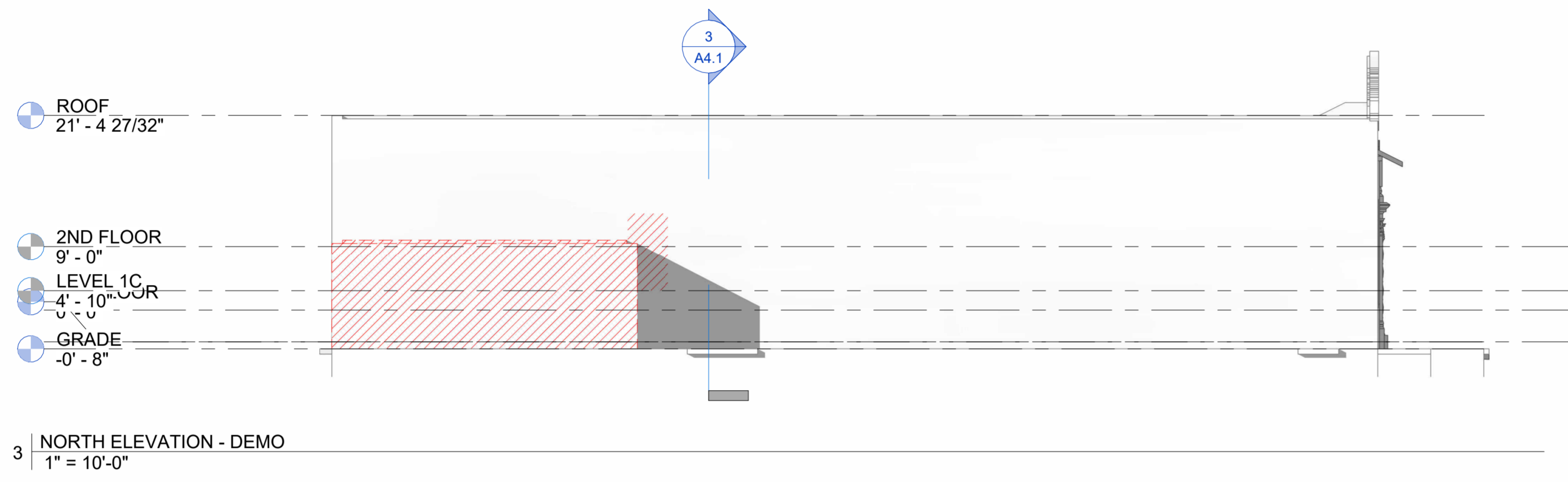
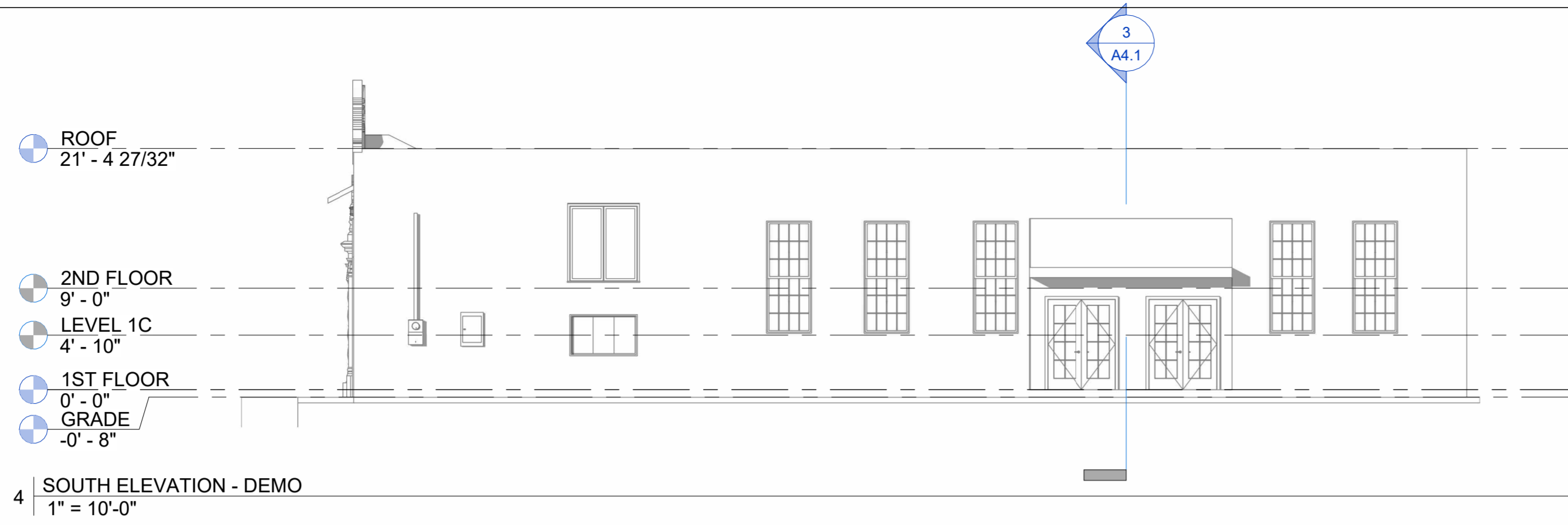
No.	Description	Date

NOT FOR CONSTRUCTION

FLOOR PLANS - PROPOSED

PERMIT FILING
 Date 02/12/26

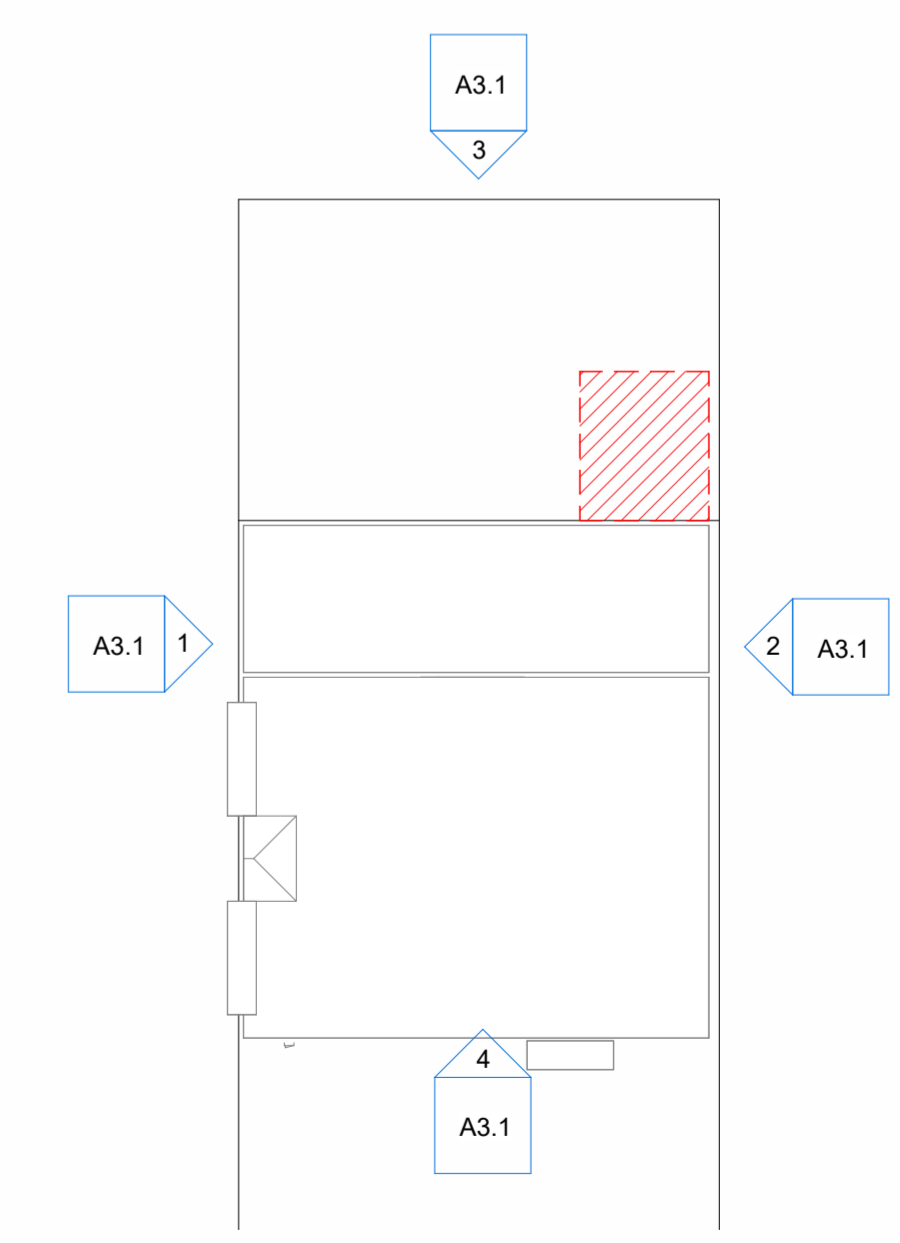
TRUE
1ST FLOOR
 1 | 1ST FLOOR PLAN
 1" = 10'-0"



KEYNOTES - SHEET	
Key Value	Keynote Text
D-01	DEMO WALL AT THIS LOCATION AS REQ'D FOR NEW CONSTRUCTION. RE: NEW WORK PLANS.

- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- CONTRACTOR RESPONSIBLE FOR DEMOLITION OF INDICATED WALLS & ASSOCIATED MATERIALS.
- CONTRACTOR TO BRACE EXISTING FRAMING AND STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING AND TO PREVENT COLLAPSE DURING CONSTRUCTION. PROTECT EXISTING FRAMING AND MATERIALS AS NEEDED DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OR BRACING. COORDINATE WITH ENGINEER AS NEEDED FOR SPECIAL BRACING CONDITIONS THAT MIGHT BE NECESSARY DURING DEMO/CONSTRUCTION.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO
1/8" = 1'-0"



KEY PLAN - ELEVATION - DEMO

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BROAD THEATER EXPANSION
656 BROAD ST
NEW ORLEANS LA

No.	Description	Date

NOT FOR CONSTRUCTION

EXISTING / DEMO ELEVATIONS

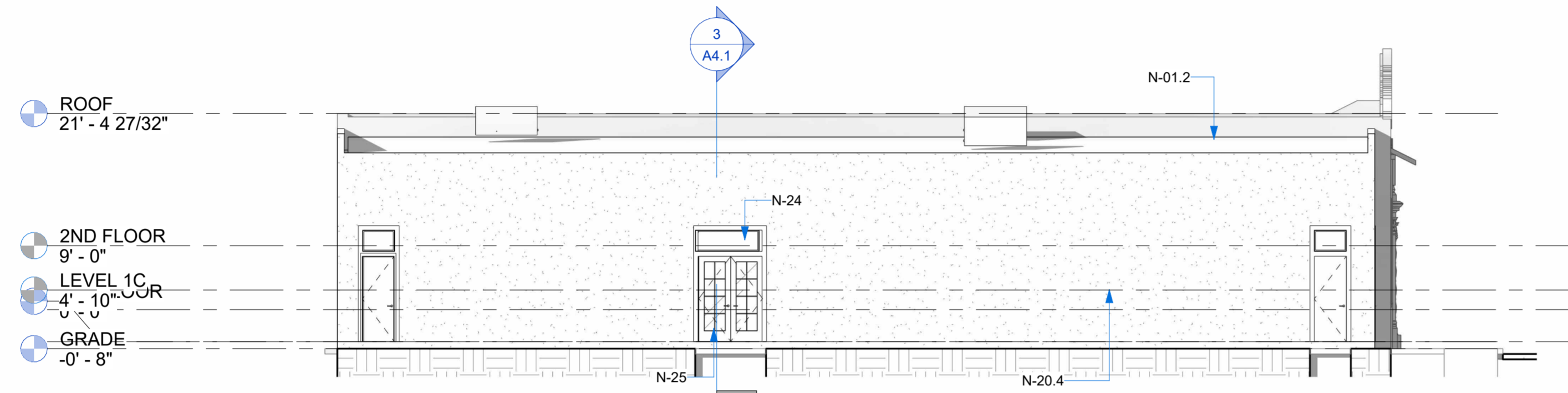
PERMIT FILING
Date 02/12/26

A3.1

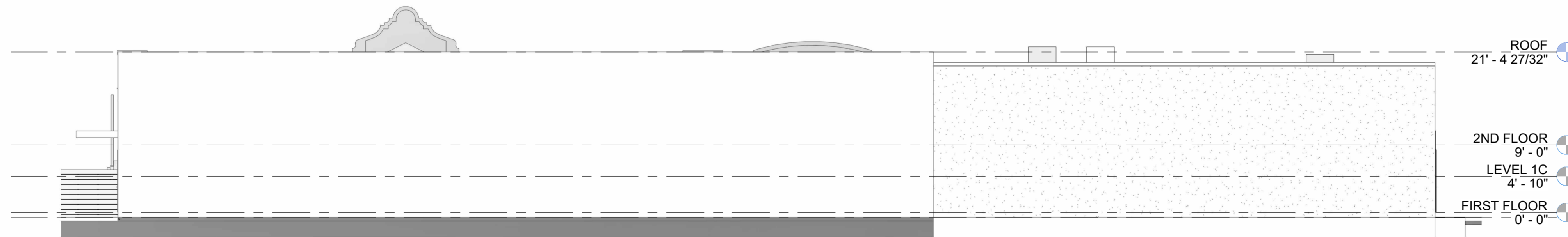
Autodesk Docs//656 Broad St//656 Broad St_Addition_cvt
2/12/2026 9:09:45 AM



4 | SOUTH ELEVATION - PROPOSED
1" = 10'-0"



3 | NORTH ELEVATION - PROPOSED
1" = 10'-0"

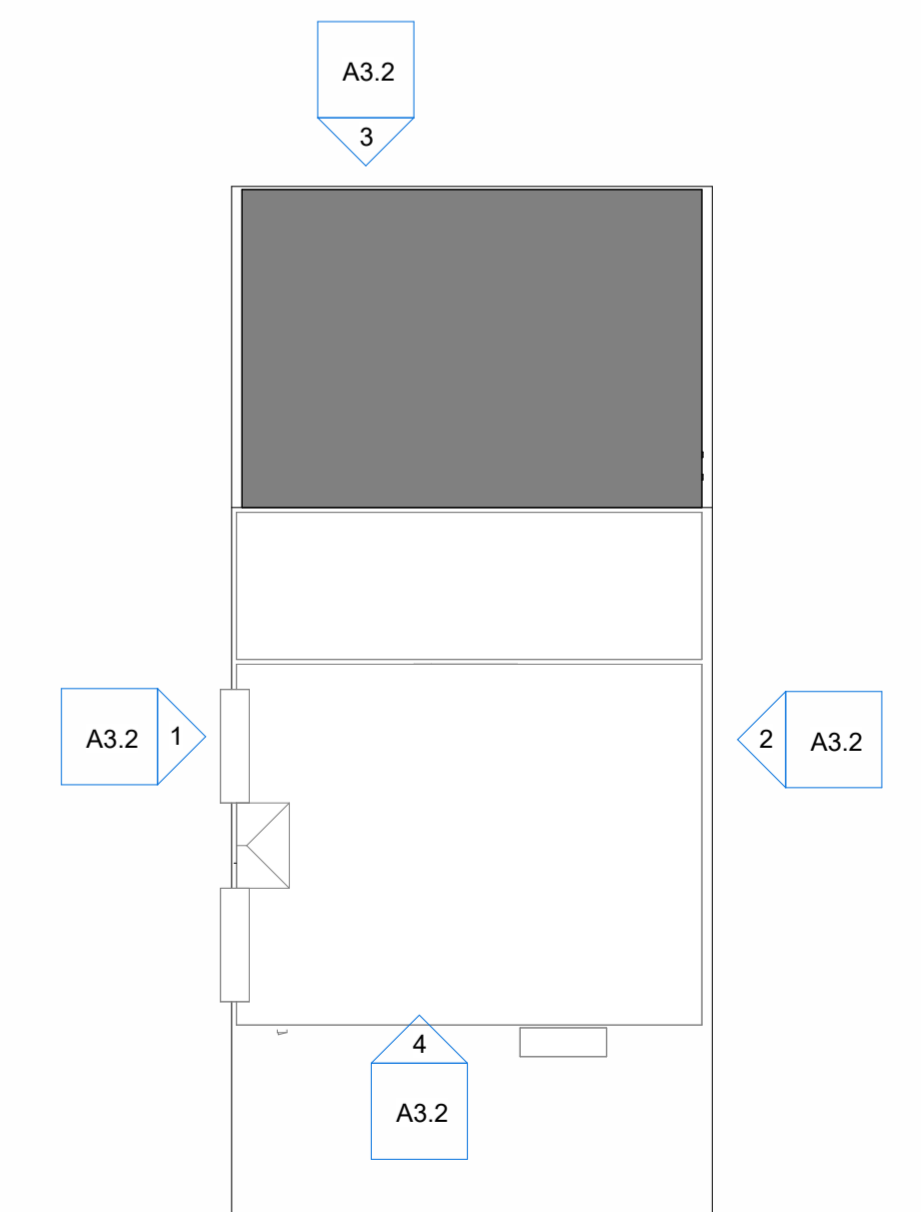


2 | EAST ELEVATION - PROPOSED
1" = 10'-0"



1 | WEST ELEVATION - PROPOSED
1" = 10'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.2	NEW LOW SLOPE ROOF. COVER ENTIRE ROOF AREA WITH ICE AND WATER SHIELD AND FLASH ANY PENETRATIONS PER MANUF. PROVIDE TAPERED INSULATION OR RIGID INSULATION AS REQ'D. FOR MIN. R-VALUES AND SLOPE/DRAINAGE.
N-19.3	METAL COPING AT PARAPET. PROVIDE WEATHER BARRIER, WRAPPING OVER TOP OF WALL AND UNDER FLAT ROOF SYSTEM. FLEXIBLE FLASHING AND GALVANIZED FLASHING AS REQ'D BY ROOFING MANUFACTURER.
N-20.4	NEW 8" CMU WALL WITH STUCCO FINISH (AT EXTERIOR FACING WALLS). PROVIDE CONTROL JOINTS AT WINDOWS AND DOORS, TYP. RE: WALL TYPES. PROVIDE REINFORCEMENT PER STRUCT. DRAWINGS.
N-24	NEW WINDOW, RE: WINDOW SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD) PROVIDE WIND BORN DEBRIS PROTECTION AS REQUIRED BY CODE.
N-25	NEW DOOR, RE: DOOR SCHEDULE.
N-55	AIR HANDLER LOCATION, TYP. PROVIDE NECESSARY ELECTRICAL AND PLUMBING FOR NEW AIR HANDLER IN ATTIC/CEILING. HVAC INSTALLER TO COORDINATE SIZING OF RETURN AIR OPENING WITH FRAMER. HVAC INSTALLER AND CONTRACTOR TO CONFIRM EXACT HVAC STRATEGY WITH OWNER PRIOR TO INSTALLATION.



KEY PLAN - ELEVATION - PROPOSED

ZACH SMITH
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

BROAD THEATER EXPANSION
656 BROAD ST
NEW ORLEANS LA

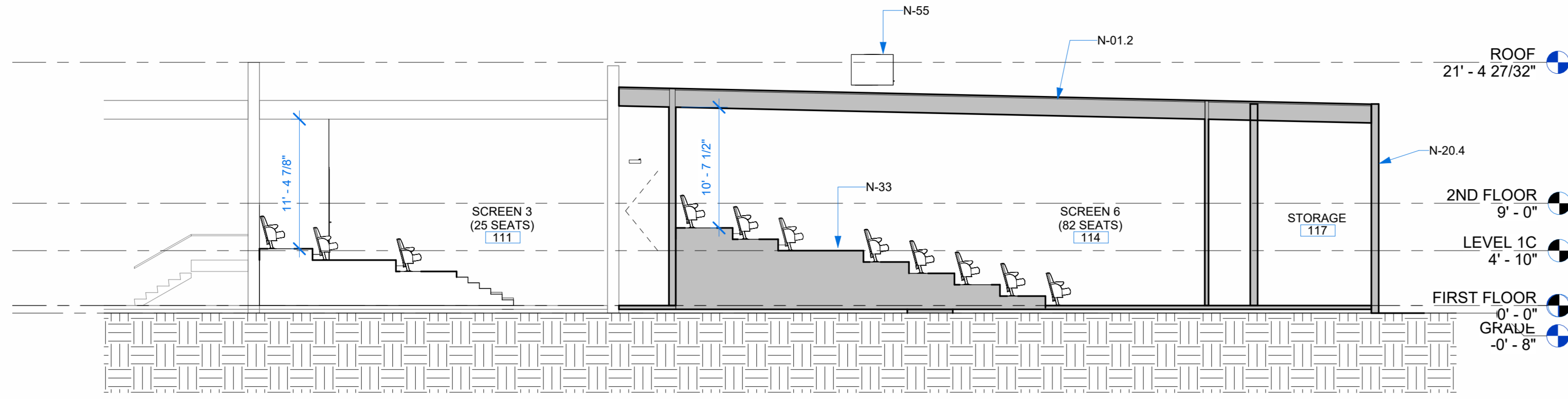
No.	Description	Date

NOT FOR CONSTRUCTION

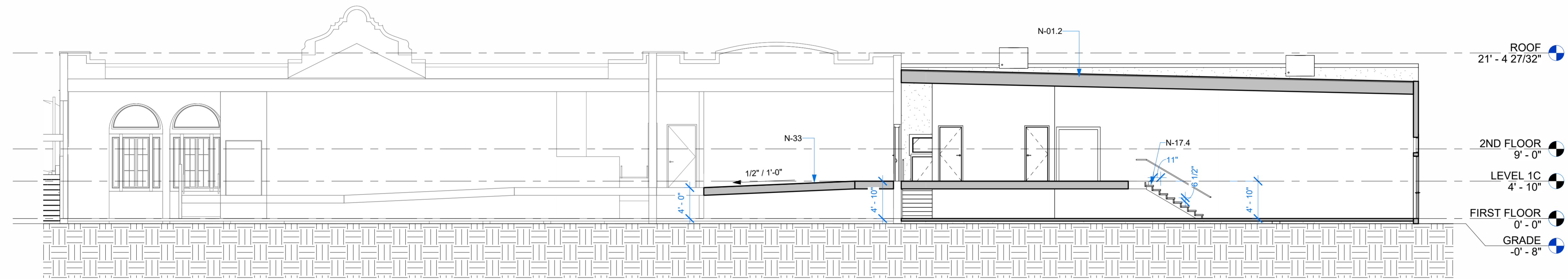
PROPOSED ELEVATIONS

PERMIT FILING
Date 02/12/26

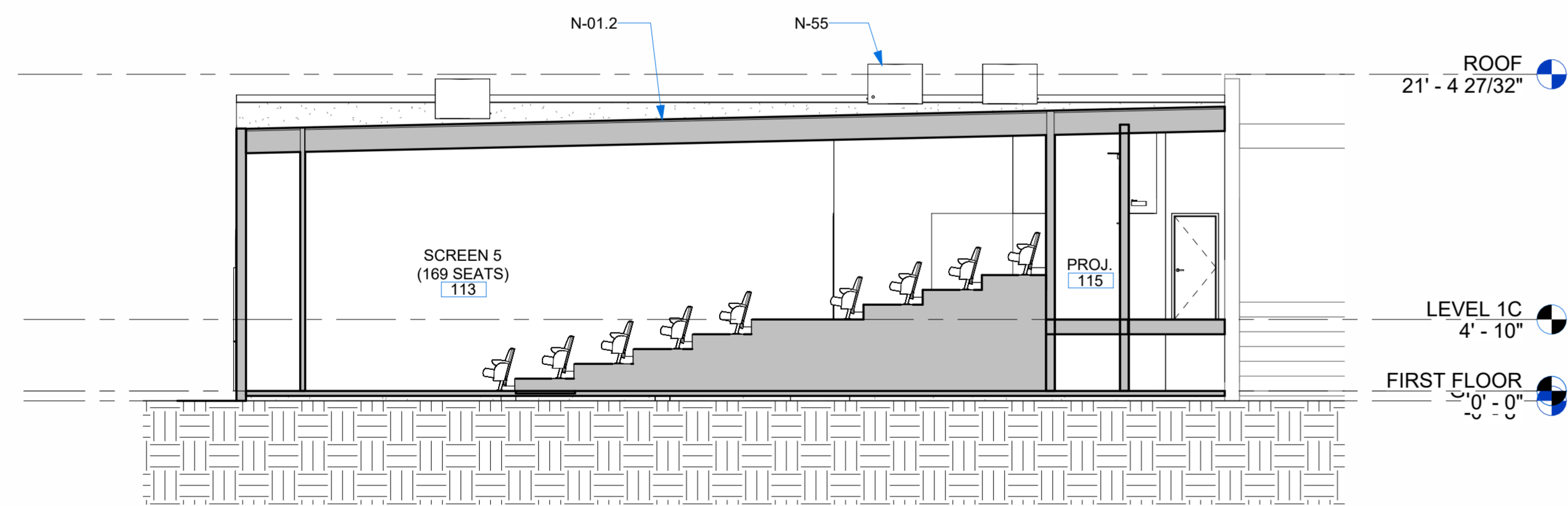
A3.2



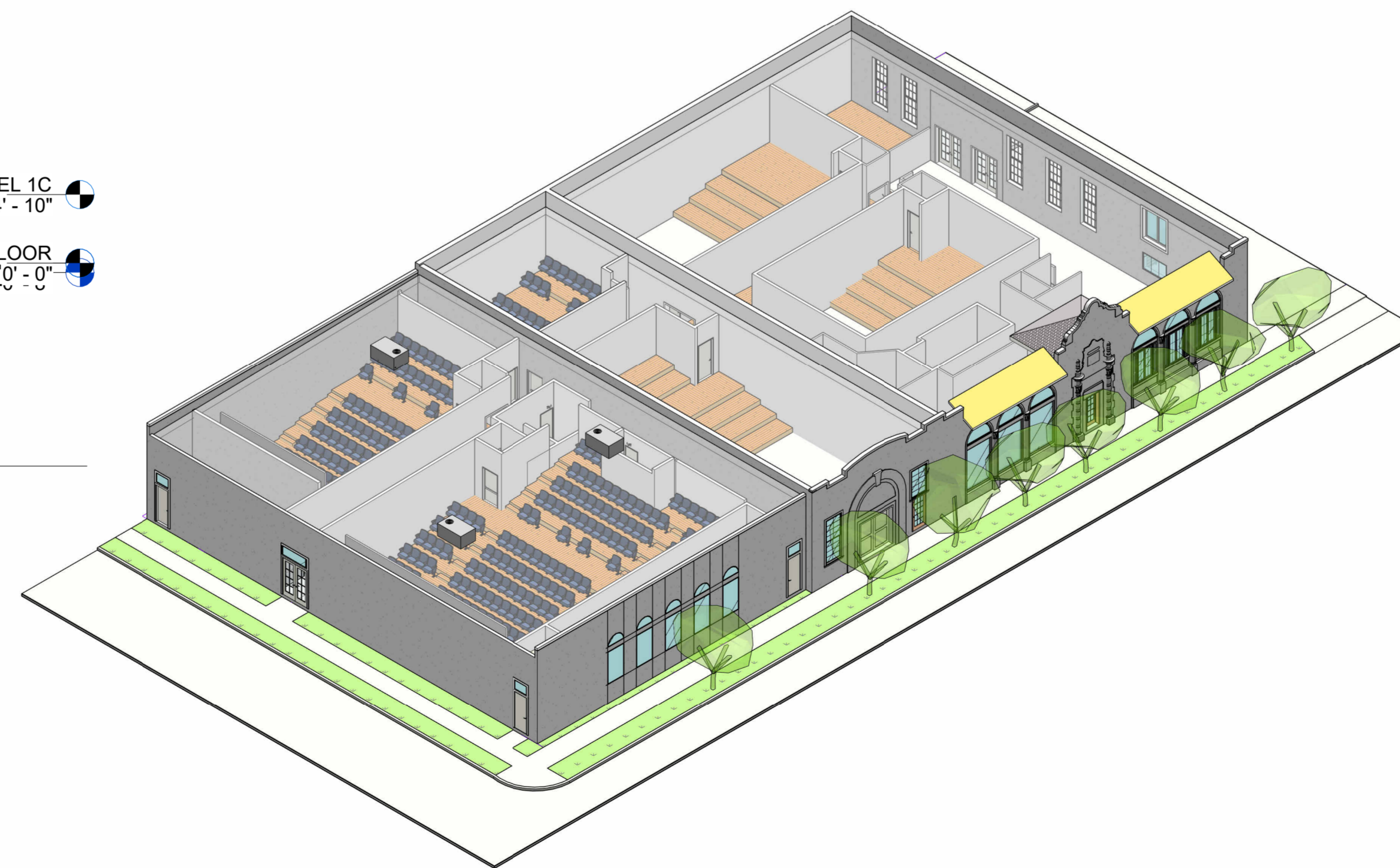
1 | BUILDING SECTION / SCREEN 3 & 4
1/8" = 1'-0"



3 | BUILDING SECTION - LONGITUDINAL
1/8" = 1'-0"



5 | BUILDING SECTION - SCREEN 5
1/8" = 1'-0"

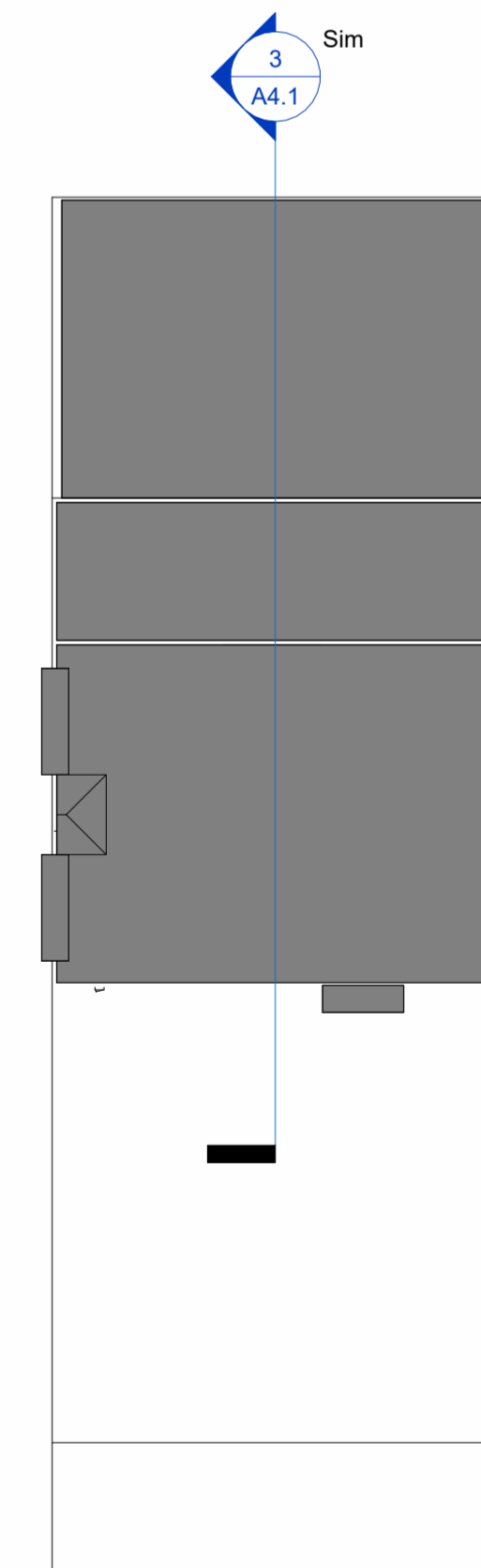


4 | 3D AXON - NEW ADDITION

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.2	NEW LOW SLOPE ROOF. COVER ENTIRE ROOF AREA WITH ICE AND WATER SHIELD AND FLASH ANY PENETRATIONS PER MANUF. PROVIDE TAPERED INSULATION OR RIGID INSULATION AS REQ'D. FOR MIN. R-VALUES AND SLOPE DRAINAGE.
N-17.4	NEW STEEL STAIR.
N-20.4	NEW 8" CMU WALL WITH STUCCO FINISH (AT EXTERIOR FACING WALLS). PROVIDE CONTROL JOINTS AT WINDOWS AND DOORS, TYP. RE: WALL TYPES, PROVIDE REINFORCEMENT PER STRUCT. DRAWINGS.
N-33	NEW METAL JOIST FRAMING AT FLOORS, WALLS, & ROOF. SEE STRUCTURAL FOR FRAMING DETAILS AND CONNECTIONS.
N-55	AIR HANDLER LOCATION, TYP. PROVIDE NECESSARY ELECTRICAL AND PLUMBING FOR NEW AIR HANDLER IN ATTIC/CEILING. HVAC INSTALLER TO COORDINATE SIZING OF RETURN AIR OPENING WITH FRAMER. HVAC INSTALLER AND CONTRACTOR TO CONFIRM EXACT HVAC STRATEGY WITH OWNER PRIOR TO INSTALLATION.

SECTION:	
	PLYWOOD
	BATT INSULATION
	SPRAY INSULATION - CLOSED CELL
	SPRAY INSULATION - OPEN CELL
	CONCRETE
	STEEL
	GYPSUM BOARD

LEGEND - SECTION HATCH



KEY PLAN - SECTION

No.	Description	Date

NOT FOR CONSTRUCTION











January 23, 2026

Dear Neighbor,

On behalf of the property owner, Art House NOLA Inc, we are applying for a Planned Development due to seeking exceptions to the regulations of the HU-MU District, at 656 N Broad located in the HU-MU, Historic Urban Neighborhood Mixed-Use District, in accordance with Article 5.2 of the Comprehensive Zoning Ordinance (CZO). As indicated in Article 5.2 of the CZO a planned development containing an adaptive reuse of an existing industrial or commercial structure in any district described in 5.2.B shall not be subject to the five (5) acre minimum if the existing commercial structure exceeds ten thousand (10,000) sqft in gross floor area. The existing building located at 636 N Broad, The Broad Theater, is 10,788 sqft and the proposal is to construct a 6,500 sqft addition on the adjacent lot, 656 N Broad, to the existing movie theater to add 2 additional screening rooms. We will also be requesting a parking waiver. With the proposed addition, the theater requires 39 parking spaces. The owner is currently working with surrounding property owners for a potential parking agreement to hold some of these required parking spaces. Please see the site plan on the reverse side of this letter. This request must be heard by the City Planning Commission and City Council at public meetings.

As a nearby neighbor to 656 N Broad or someone with regards for the neighborhood, Zach Smith Consulting & Design's team would like to invite you to a meeting to discuss the Planned Development. During this meeting, you will learn more about our proposal and have time to ask questions or voice concerns regarding this request. You are welcome to send us any questions beforehand.

This letter is being delivered through U.S. Mail or email.

The meeting will take place on Wednesday, February 11th, 2026, at 5:30pm at 636 N Broad New Orleans, LA 70119, The Broad Theater.

If you are unable to attend and would like to receive info about the meeting, please feel free to contact me. If you have any additional questions or comments, please reach me at my email address below and include "656 N Broad" in the subject line.

Sincerely,

Laura Barth

Laura Barth (laura@zachsmithconsulting.com) | Permit Liaison | Zach Smith Consulting & Design
| 504-383-3748 www.zachsmithconsulting.com

656 N Broad - NPP Invite

4 messages

Laura Barth <laura@zachsmithconsulting.com> Fri, Jan 23, 2026 at 10:05 AM
To: Eugene J Green <eugene.green@nola.gov>, CPCINFO <cpcinfo@nola.gov>, info@lafittegreenway.org,
jeff@broadcommunityconnections.org
Cc: Ron Loesel <ron@zachsmithconsulting.com>, Monique N Green <Monique.Green@nola.gov>, Zachary Smith
<zach@zachsmithconsulting.com>

Good morning,

Please see the attached NPP invite for a Planned Development for 656 N Broad. Thank you.


--




Laura Barth
Permit Liaison | Zach Smith Consulting

O: +1 (504) 383 3748
E: laura@zachsmithconsulting.com
W: www.zachsmithconsulting.com

2 attachments

 **656 N Broad_PD NPP .pdf**
202K

 **656 N Broad_PD NPP .pdf**
202K

Laura Barth <laura@zachsmithconsulting.com>
To: info@broadcommunityconnections.org

Fri, Jan 23, 2026 at 10:06 AM

[Quoted text hidden]

 **656 N Broad_PD NPP .pdf**
202K

Monique N Green <Monique.Green@nola.gov> Fri, Jan 23, 2026 at 10:21 AM
To: Laura Barth <laura@zachsmithconsulting.com>, Eugene J Green <Eugene.Green@nola.gov>, CPCINFO
<CPCINFO@nola.gov>, "info@lafittegreenway.org" <info@lafittegreenway.org>, "jeff@broadcommunityconnections.org"
<jeff@broadcommunityconnections.org>
Cc: Ron Loesel <ron@zachsmithconsulting.com>, Zachary Smith <zach@zachsmithconsulting.com>

Received. Thank you.

Monique N. Green
Legislative Director
City Council, District D

1300 Perdido Street, Room 2W20
New Orleans, Louisiana 70112
Office: (504) 658-1040

From: Laura Barth <laura@zachsmithconsulting.com>
Sent: Friday, January 23, 2026 10:05 AM
To: Eugene J Green <Eugene.Green@nola.gov>; CPCINFO <CPCINFO@nola.gov>; info@lafittgreenway.org
<info@lafittgreenway.org>; jeff@broadcommunityconnections.org <jeff@broadcommunityconnections.org>
Cc: Ron Loesel <ron@zachsmithconsulting.com>; Monique N Green <Monique.Green@nola.gov>; Zachary Smith
<zach@zachsmithconsulting.com>
Subject: 656 N Broad - NPP Invite

[Quoted text hidden]

Sarah C King <Sarah.King@nola.gov>
To: Laura Barth <laura@zachsmithconsulting.com>

Fri, Jan 23, 2026 at 11:58 AM

Received.

Best,

Sarah C. King (she/her/hers)

Senior City Planner | New Orleans City Planning Commission
1300 Perdido Street, 7th Floor | New Orleans, LA 70112
(504) 658-7021 (office) | sarah.king@nola.gov

RESOURCES:

[Application Forms](#)

[Property Viewer](#) (check the zoning of a property)
[Comprehensive Zoning Ordinance](#)

[One Stop App](#)
[Frequently Asked Questions](#)

[Short Term Rental Administration - Home - City of New Orleans \(nola.gov\)](#)

From: CPCINFO <CPCINFO@nola.gov>
Sent: Friday, January 23, 2026 11:17 AM
To: Sarah C King <Sarah.King@nola.gov>
Subject: FW: 656 N Broad - NPP Invite

Sarah C. King (she/her/hers)

Senior City Planner | New Orleans City Planning Commission
1300 Perdido Street, 7th Floor | New Orleans, LA 70112
(504) 658-7021 (office) | sarah.king@nola.gov

RESOURCES:

[Application Forms](#)

[Property Viewer](#) (check the zoning of a property)
[Comprehensive Zoning Ordinance](#)

[One Stop App](#)
[Frequently Asked Questions](#)

[Short Term Rental Administration - Home - City of New Orleans \(nola.gov\)](#)

From: Laura Barth <laura@zachsmithconsulting.com>

Sent: Friday, January 23, 2026 10:05 AM

To: Eugene J Green <Eugene.Green@nola.gov>; CPCINFO <CPCINFO@nola.gov>; info@lafittegreenway.org;
jeff@broadcommunityconnections.org

Cc: Ron Loesel <ron@zachsmithconsulting.com>; Monique N Green <Monique.Green@nola.gov>; Zachary Smith
<zach@zachsmithconsulting.com>

Subject: 656 N Broad - NPP Invite

Good morning,

[Quoted text hidden]

Broad Theater Expansion

1 message

Casey Ginder <cginder@woodwarddesignbuild.com>
To: "laura@zachsmithconsulting.com" <laura@zachsmithconsulting.com>

Tue, Feb 3, 2026 at 10:29 AM

Hi Laura,

I am on the Faubourg St John Neighborhood Board and I saw in the agenda for tonight's meeting that Broad Theater is holding an NPP for expansion plans. My wife and I love Broad Theater so I am personally interested in this, and Woodward may also be interested in this prospect.

Is ZSC&D the designer?

Do you know if they are working with a contractor yet?

Thanks so much for any info you can provide!

Casey Ginder

Senior Project Manager

Woodward Design+Build

Office: (504) 826-1126

Cell: (205) 283-1398

656 N Broad St NPP Agenda

Date: February 11th , 2026

Location: 636 N Broad St New Orleans , LA 70119 (The Broad Theater)

- I. Welcome
 - Introduction of speakers and their relationship to the project.
 - Review handout sheets.

- II. Description of the Project
 - Go over the variance requests.
 - Review sections in the Comprehensive Zoning Ordinance that pertain to our requests.

- III. Public Comment
 - Allow neighbors to make comments , ask questions , & state concerns.
 - Answer neighbors' questions accordingly.

- IV. Summary
 - State how comments, questions, & concerns will be addressed if not addressed at the NPP Meeting.

- V. Next Steps
 - Confirm timeline for submitting our application with the neighbors.
 - Confirm the neighbors have the correct contact information to stay updated on the project.

656 N Broad – Planned Development

NPP Meeting Minutes

2/11/2025, 5:30PM

Meeting Location: 636 N Broad, New Orleans, LA 70119

No attendees for the meeting. No meeting notes to report.



656 N Broad Planned Development NPP Meeting Summary Report

Date of Report: February 19, 2026

Project Name: 656 N Broad

Overview: This report provides results of the implementation of the Project Neighborhood Participation Program for the property located at 656 N Broad. We are applying for a Planned Development due to seeking exceptions to the regulations of the HU-MU District, at 656 N Broad located in the HU-MU, Historic Urban Neighborhood Mixed-Use District, in accordance with Article 5.2 of the Comprehensive Zoning Ordinance (CZO). As indicated in Article 5.2 of the CZO a planned development containing an adaptive reuse of an existing industrial or commercial structure in any district described in 5.2.B shall not be subject to the five (5) acre minimum if the existing commercial structure exceeds ten thousand (10,000) sqft in gross floor area. The existing building located at 636 N Broad, The Broad Theater, is 10,788 sqft and the proposal is to construct a 6,500 sqft addition on the adjacent lot, 656 N Broad, to the existing movie theater to add 2 additional screening rooms. We will also be requesting a parking waiver. With the proposed addition, the theater requires 39 additional parking spaces. The owner is currently working with surrounding property owners for a potential parking agreement to hold some of these required parking spaces. This report provides a summary of contacts with citizens, neighbors, public agencies, and interested parties. Opportunities have been provided to learn about and comment on the proposed plans and actions. All required and additional material attached.

Contact: Laura Barth; 1000 S Norman C Francis Pkwy, New Orleans, LA 70125; 504-383-3748;
laura@zachsmithconsulting.com

Neighborhood Meetings: The following date and location of the meeting where citizens were invited to discuss the applicant's proposal.

- 1) Wednesday, February 11th, 2026, at 5:30pm at 636 N Broad, New Orleans, LA 70119. There was no one in attendance for the NPP except Zach Smith Consulting representatives and the property owner.

Correspondence and Telephone Calls:

- 1) Please see attached email correspondence.
- 2) There were no phone calls regarding this application.

Results: There were 145 people/groups/addresses invited to the community meeting. There are no meeting minutes as no one was in attendance for the meeting.

- 1) Summary of questions, concerns, issues, and problems:
 - a. None.
- 2) How questions, concerns, issues, and problems will be addressed:
 - a. None.
- 3) How questions, concerns, issues, and problems will continue to be addressed:
 - a. In the NPP letter, we do include our office information for anyone to contact at any time if they were unable to attend the NPP meeting.



Building/Construction
Related Permit



Received by	_____
Sign Provided <input type="radio"/> Date	_____
Tracking Number	_____

LAND-USE REQUEST APPLICATION

Please submit complete applications via email to CPCInfo@nola.gov or in person at 1300 Perdido St., 7th Floor, New Orleans, LA 70112. Incomplete applications will not be accepted and will be returned to the applicant.

Type of application: Text Amendment Zoning Change Conditional Use/Planned Development

Address of Property for which this application is being filed. 656 N Broad

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name Zach Smith Consulting & Design

Applicant Address 1000 S Norman C Francis Pkwy

City New Orleans State LA Zip 70125

Applicant Contact Number 504-383-3748 Email laura@zachsmithconsulting.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name ART HOUSE NOLA INC

Property Owner Address 636 N Broad

City New Orleans State LA Zip 70119

Property Owner Contact Number 504-919-1078 Email brian.knighten@gmail.com

SPECIFIC ZONING REQUEST

Planned Development of 6500 addition to existing movie theater (10,788 sqft).

PROPERTY LOCATION

Square Number(s) 337 Lot Number(s) 3A-1

Bounding Streets St Peter Toulouse N Dorgenois

Zoning HU-MU Municipal District 2

Tax Bill Number 207109601 Planning District 4

DESCRIPTION OF PROJECT (Attachments are acceptable)

Planned Development of 6500 addition to existing movie theater (10,788 sqft).



Building/Construction
Related Permit



Received by	_____
Sign Provided	<input type="radio"/> Date _____
Tracking Number	_____

LAND-USE REQUEST APPLICATION

ACKNOWLEDGMENTS

I (we) hereby affirm that ownership and property information presented on this application is current and accurate and, further, that the undersigned meet the requirements of Article 16 of the Comprehensive Zoning Ordinance to submit this application. I (we) acknowledge that inaccurate or incomplete ownership, improper authorization, or property identification will make this application and resulting actions null and void. I (we) the undersigned owner and authorized agent of the area of land described above, hereby submit for your approval the above stated request.

Owner Signature *[Signature]* Date 1/23/26

Agent Signature Brian Knighten Date 1/23/26

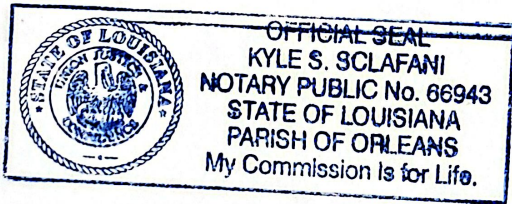
If ownership is joint, each owner must be listed. If ownership is a partnership, the Partnership Agreement must be included. If ownership is a corporation, Articles of Incorporation (full document filed with the Secretary of State) and a Board Resolution authorizing an individual or agent to sign on its behalf must be included. If ownership is a LLC, Articles of Organization (full document filed with the Secretary of State) and legal documentation authorizing an individual or agent to sign on its behalf must be included. If necessary, submit proof of ownership documents, such as copies of the recorded act of sale, act of exchange, act of donation, cash sale or deed.

STATE OF LOUISIANA, PARISH OF ORLEANS

Before me, the undersigned authority, personally appeared the person(s) whose signature are affixed above, all of the full age of the majority, who declared under oath to me, Notary, that they are the owners or authorized agents of the property described above, and that their signatures were executed freely and voluntarily and that they are duly qualified to sign.

Sworn to and subscribed before me this 23rd day of January 2026

My Commission expires _____ *[Signature]*

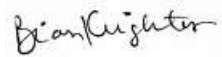


February 20, 2026

To Whom it May Concern:

This letter serves to confirm that Brian Knighten is the sole owner and manager of Art House NOLA, and as such has the authority to make decisions on it's behalf.

Thank you,

A handwritten signature in black ink that reads "Brian Knighten". The signature is written in a cursive style with a prominent initial "B".

Brian Knighten
For Art House NOLA

Tom Schedler
SECRETARY OF STATE

State of Louisiana
Secretary of State



COMMERCIAL DIVISION
225.925.4704

09/19/2013

Administrative Services
225.932.5317 Fax
Corporations
225.932.5314 Fax
Uniform Commercial Code
225.932.5318 Fax

ONLINE FILING
bpk_504@hotmail.com

ART HOUSE NOLA, INC

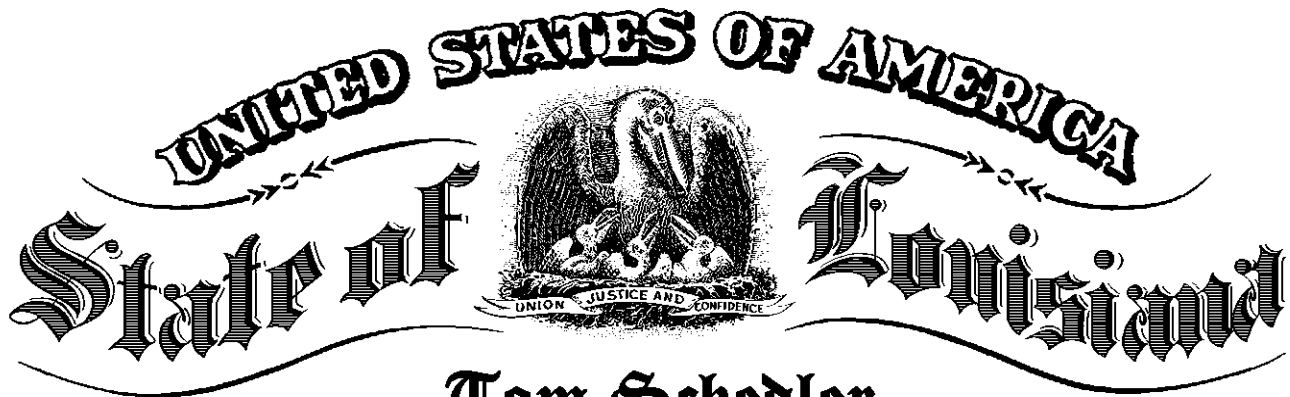
It has been a pleasure to approve and place on file your articles of incorporation. The appropriate evidence is attached for your files.

Payment of the filing fee is acknowledged by this letter.

Online filing options are available if changes are necessary to your registration or you need to file an annual report. Please visit our website at **GeauxBiz.com** for your future business needs.

Sincerely,

WEB



Tom Schedler

SECRETARY OF STATE

As Secretary of State, of the State of Louisiana, I do hereby Certify that

a copy of the Articles of Incorporation and Initial Report of

ART HOUSE NOLA, INC

Domiciled at NEW ORLEANS, LOUISIANA,

Was filed and recorded in this Office on September 19, 2013,

And all fees having been paid as required by law, the corporation is authorized to transact business in this State, subject to the restrictions imposed by law, including the provisions of R.S. Title 12, Chapter 1.

In testimony whereof, I have hereunto set my hand and caused the Seal of my Office to be affixed at the City of Baton Rouge on,

September 19, 2013

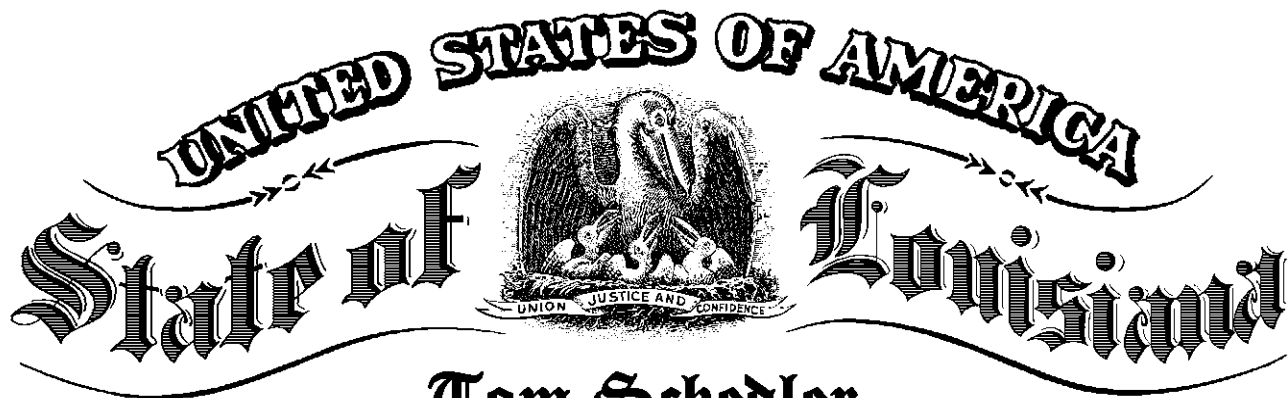
Secretary of State

WEB 41291882D



Certificate ID: 10420127#XBF52

To validate this certificate, visit the following web site, go to **Commercial Division, Certificate Validation**, then follow the instructions displayed.
www.sos.louisiana.gov



Tom Schedler
SECRETARY OF STATE

As Secretary of State, of the State of Louisiana, I do hereby Certify that

the attached document(s) of

ART HOUSE NOLA, INC

are true and correct and are filed in the Louisiana Secretary of State's Office.

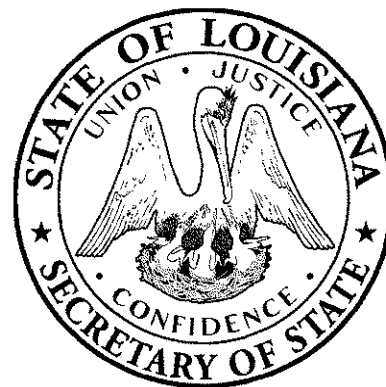
Original Filing 09/19/2013 3 pages

In testimony whereof, I have hereunto set my hand and caused the Seal of my Office to be affixed at the City of Baton Rouge on,

September 19, 2013

Secretary of State

WEB 41291882D



Certificate ID: 10420128#7DF52

To validate this certificate, visit the following web site, go to **Commercial Division, Certificate Validation**, then follow the instructions displayed.

www.sos.louisiana.gov

**STATE OF LOUISIANA
ARTICLES OF INCORPORATION
(R.S. 12:24)**

- 1. The name of this corporation is:** ART HOUSE NOLA, INC
- 2. This corporation is formed for the purpose of:** engaging in any lawful activity for which corporations may be formed.
- 3. The duration of this corporation is (may be perpetual):** PERPETUAL
- 4. The aggregate number of shares which the corporation shall have authority to issue is:** 100
- 5. The shares shall consist of one class only and the par value of each share is: (shares may be without par value) \$0**
- 6. The full name and post office address of each incorporator is:**

BRIAN KNIGHTEN
5422 CONSTANCE
NEW ORLEANS, LA 70115

7. Other Provisions:

I hereby certify that I am the Incorporator and have the authority to sign on behalf of any other Incorporator listed. The filing of a false public record, with the knowledge of its falsity, is a crime, subjecting the filer to fine or imprisonment or both under R.S. 14:133.

Electronic Signature: BRIAN KNIGHTEN (9/19/2013)

**DOMESTIC BUSINESS CORPORATION INITIAL REPORT
(R.S. 12:25 AND 12:101 (E))**

- 1. The name of this corporation is:** ART HOUSE NOLA, INC
- 2. The location and municipal address (not a post office box only) of this corporation's registered office:**

5422 CONSTANCE
NEW ORLEANS, LA 70115

- 3. The full name and municipal address (not a post office box only) of each of this corporation's registered agent(s) is/are:**

BRIAN KNIGHTEN
5422 CONSTANCE
NEW ORLEANS, LA 70115

- 4. The name and municipal address, not a post office box only, of the first directors are:**

BRIAN KNIGHTEN (President)
5422 CONSTANCE

NEW ORLEANS, LA 70115

I hereby certify that I am the Incorporator and have the authority to sign on behalf of any other Incorporator listed. The filing of a false public record, with the knowledge of its falsity, is a crime, subjecting the filer to fine or imprisonment or both under R.S. 14:133.

Electronic Signature: BRIAN KNIGHTEN (9/19/2013)

SECRETARY OF STATE



Agent Affidavit and Acknowledgement of Acceptance

Charter Number: 41291882D

Charter Name: ART HOUSE NOLA, INC

The agent / agents listed below accept the appointment of registered agent for and on behalf of the Charter Name above.

Date Responded	Agent(s)	Agent(s) Electronic Signature
09/19/2013	BRIAN KNIGHTEN	BRIAN KNIGHTEN

